

This ADDENDUM will become part of the Contract Documents. In case of difference with previous addenda or communications, this addendum takes precedence. It is the responsibility of the contractor to notify all subcontractors and suppliers from whom he accepts bids of all changes in the drawings and specifications necessitated by this Addendum. Receipt shall be acknowledged by inserting the Addendum number and its date in the Bid Form.

ADDENDUM NUMBER:	<u>ONE</u>	DATE ISSUED:	November 11, 2015
PROJECT:	CASCADE COUNTY COURTHOUSE EXTERIOR ENVELOPE RESTORATION	PROJECT NUMBER:	A&E – 14036.00 STPE 5299(109)
PAGES IN ADDENDUM:	17	PREPARED BY:	Paul Filicetti, AIA
SHEETS IN ADDENDUM:	8		
<i>ISSUED TO:</i>	<i>Planholders of Record</i>		

This addendum consists of 2 page(s) and the following 8-1/2"x11" attachments: Bid Proposal Form, Section 012300 "Alternates," Pre-Bid Sign-in-Sheet, Plan Holders Report, ASK.001, ASK.002, ASK.003, ASK. 004; and the following 24"x36" attachments: Sheet D2.1, Sheet D3.1, Sheet D3.2, Sheet D7.1, Sheet A2.1, Sheet A3.1, Sheet A3.2, and Sheet A7.1.

CLARIFICATIONS

1. Reference the attached "Plan Holders Report" for a list of Planholders of Record.
2. Following issuance of the NTP, Contractor shall coordinate with the Owner and courts to obtain weekly courtroom schedules that may impact the contractor's work schedule.
3. Cascade County has paid the City of Great Falls building permit fee (\$461.44) which shall be reimbursed by the Contractor to the Owner within the contract.
4. Reference Section 076215 "Copper Flashing and Trim" Part 2, 2.3 for copper flashing and trim sheet weight.
5. Reference Section 074113.16 "Architectural Copper Roofing" Part 2, 2.3 for copper roofing sheet weight.
6. Reference attached ASK.001 indicating a separation between EPDM roof and gutter. The EPDM roof requires a 20 year warranty. The EPDM gutter liner does not require a 20 year warranty.
7. Reference attached Sheet ASK.004 indicating extents of Alternate #1 work.
8. Existing roof structure is structurally adequate to support construction materials and scaffolding for work to the dome. Contractor shall take standard precautions to distribute construction materials and equipment so as to not concentrate weights greater than 1000 pounds in any one location. Scaffolding shall be established on boards to assist to distribute weight and protect the existing copper roof.
9. Process for determination of Davis Bacon wage rates not listed are outlined in each Davis Bacon wage rate document in the Project Manual.

AMENDMENT TO THE SPECIFICATIONS

1. "Instructions to Bidders" Item S, 1: Revise to read "Project Completion in accordance with CTEP's Certificate of Completion shall be on or before June 1, 2017.
2. Reference Alternate 1 "Bid Form" attached.
3. Reference Section 012300 "Alternates" attached.
4. Section 074113.16 "Architectural Copper Roofing" Part 2, 2.2 FABRICATORS: Custom ornamental architectural copper in-kind to existing ornamental architectural copper components shall be fabricated by a fabricator experienced with copper tooling, detailing and in-kind fabrication including but not limited to balustrade, balusters, finials, ogee and decorative break metal parapet, scroll base of dome, and larger curved and decorative pieces of the dome base. Additional approved fabricators include:

- a. Bridger Steel, Great Falls, MT

- b. Maddox Roofing & Construction, Inc., Great Falls, MT
- c. Ornametals Manufacturing, LLC, Cullman, AL

AMENDMENT TO THE DRAWINGS

1. Replace Sheet D2.1 with attached Sheet D2.1.
2. Replace Sheet D3.1 with attached Sheet D3.1.
3. Replace Sheet D3.2 with attached Sheet D3.2.
4. Replace Sheet D7.1 with attached Sheet D7.1.
5. Replace Sheet A2.1 with attached Sheet A2.1.
6. Replace Sheet A3.1 with attached Sheet A3.1.
7. Replace Sheet A7.1 with attached Sheet A7.1.
8. Sheets A9.2, A9.3: Sheets reference Sheet A2.1 for keynotes but should reference Sheet A9.1.
9. Replace Detail 1/A9.11 with ASK.002 attached.
10. Replace Detail 9/A9.10 with ASK.003 attached.

END OF ADDENDUM

BID PROPOSAL FORM

TO: Bonnie Fogerty, Office Manager
Cascade County Board of County Commissioners
Office of the Board of County Commissioners
Cascade County Courthouse Annex
325 2nd Avenue North, Room 111
Great Falls, Montana 59401

To Whom It May Concern:

The undersigned, having reviewed the specification and reviewed and completed the CTEP Proposal, attended the pre-bid meeting, and familiarized himself/herself with the site, building, and Project conditions of the National Register Listed Cascade County Courthouse and Work indicated in the Contract Documents entitled CASCADE COUNTY COURTHOUSE COPPER ROOF REPLACEMENT, Great Falls, Montana as prepared by A&E Architects, P.C. 222 North Higgins Avenue, Missoula, Montana 59802 agrees to complete the entirety of the Work for the total sum as follows:

BASE BID:

\$ _____ (\$ _____)
(written) (numerical)

ALTERNATE BID ITEMS: Reference Section 012300 "Alternates" for full description of each Alternate. Cost for alternate bid items listed below shall include, but are not limited to full compensation for all labor, materials, tools, equipment, transportation, overhead and profit, and any other additional costs associated with the bid(s). The bidder agrees to hold all Alternates at the value stated on this Bid Proposal Form until making payment on 60% completion of the Work (as shown on the latest Application for Payment request submitted by the Contractor).

ALTERNATE NO. 1 COPPER TO REPLACE EPDM ROOFING:

\$ _____ (\$ _____)
(written) (numerical)

I have received Addenda No.'s _____, _____, _____, _____ and have included their provisions in my proposal.

In submitting this Bid Proposal, I agree:

1. To hold my bid open at least thirty (30) consecutive calendar days.
2. To enter into and execute a Contract, if awarded on the basis of this proposal.
3. To accomplish the Work in accordance with the Contract Documents.
4. To commence with Work within seven (7) days of receipt of "Notice to Proceed."

The undersigns acknowledges that the above prices include all labor, materials, overhead, profit, insurance, fees, all applicable taxes, etc. necessary to complete the Work described in the Contract Documents.

BY: _____
CONTRACTOR / BUSINESS NAME SIGNATURE DATE

ADDENDUM #1

CASCADE COUNTY COURTHOUSE
COPPER ROOF REPLACEMENT
GREAT FALLS, MONTANA

_____	_____
ADDRESS	TITLE

(SEAL - if by a Corporation)

Montana Public Contractors License No. _____ (not required in order to submit bid)

SECTION 012300 - ALTERNATES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.
 - 1. Include as part of each Alternate, all necessary demolition, renovation and remodeling construction work including but not limited to bonds, taxes, and insurance, labor and material, miscellaneous devices, accessory objects and similar items incidental to or required for a complete installation whether or not mentioned as part of the Alternate.
 - 2. Owner reserves the right to modify the Contract, by Change Order, to include any and/or all Alternates at the value stated on the Contractors Bid Proposal Form at any time prior to making payment on 60% completion of the Work (as shown on the latest Application for Payment request submitted by the Contractor).

1.2 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Unless otherwise indicated, Alternates described in this Section are part of the Work only if enumerated in the Agreement or Change Order.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

1.3 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated revisions to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

ADDENDUM #1

CASCADE COUNTY COURTHOUSE
COPPER ROOF REPLACEMENT
GREAT FALLS, MONTANA

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALTERNATES

A. Alternate No. 1: COPPER TO REPLACE EPDM ROOFING

1. Base Bid Item: As indicated on the Drawings and specified in the Project Manual.
2. Alternate Bid Item: Provide a cost for work related to installation of a fully sealed flat seam copper roof finish to areas indicated in ASK.004 in accordance with CDA guidelines. Coordinate work with installation of adjacent copper surfaces and finishes, existing building conditions, copper clad diverters to interior roof drains, roof drains, and the fully-adhered EPDM roof membrane to gutters indicated in Base Bid.

END OF SECTION 012300

SIGN-IN SHEET

PRE-BID MEETING

CASCADE COUNTY COURTHOUSE COPPER ROOF REPLACEMENT

TUESDAY OCTOBER 27, 2015: 1:30 PM

STPE 5299(109); A&E Project No.: 14036.00

BID OPENING: 2:00 PM, NOVEMBER 24, 2015

INT	COMPANY	NAME	EMAIL	TITLE	PHONE
<i>RF</i>	A&E Architects	Filicetti, Paul	pfilicetti@aearchitects.com	Preservation Architect	406.721.5643
<i>✓</i>	3 Point Architects	MILLER, BECKI	bdmiller@mtintouch.net	Architect	406.376.3230
<i>✓</i>	Baker Roofing Company	Rogers, Shannon	srogers@bakerroofing.com		919.828.2975
	Jackson Contractor Group	Kobos, Mark	markk@jacksoncontractorgroup.com	Jackson Contractor Group	406.542.9150
	Jackson Contractor Group	Lund, James	jamesl@jacksoncontractorgroup.com	Jackson Contractor Group	406.542.9150
	Midland Engineering	Sage, Ken	ksage@midlandengineering.com		574.272.0200
<i>✓</i>	Mike's Metalworks	Winters, Mike	mike@mikewinters.com		406.581.4877
	Cascade County		jlanson@cascadecountymt.gov		
	Cascade County	Briggs, Joe	jbriggs@cascadecountymt.gov		
	Cascade County	Clifton, Brian	bclifton@cascadecountymt.gov	Public Works Director	406.454.6920
	Cascade County	Ekberg, James	jdekberg@cascadecountymt.gov		
	Cascade County	Thiel-Schaaf, Kim	kthiel-schaaf@cascadecountymt.gov	Commissioners Grant Coordinator	406.454.6759
<i>Winters</i>	Cascade County	Weber, Jane	jweber@cascadecountymt.gov		
	Renaissance Roofing, Inc.	Raleigh, Bob	rwr3@renroof.com	President	800.699.5695
	Dept Admin/Arch & Eng Div	Hollen, David	dhollen@mt.gov	CTEP Project Engineer	406.444.6118
		<i>Peray Maddox</i>	<i>Peray@maddoxroofing.com</i>	<i>Cont.</i>	<i>771-7410</i>
	<i>Maddox Roofing Dam Good Gutters & Exteriors</i>	<i>Luke Bayel</i>	<i>damgoodgutters@gmail.com</i>	<i>Proprietor</i>	<i>406 224- 5962</i>
	<i>DLI</i>	<i>Siemens, Randy</i>	<i>rsiemens@mt.gov</i>	<i>Comp. Spec.</i>	<i>444-4619</i>
	<i>Environmental Contractors</i>	<i>Ben Wagner</i>	<i>ben@envucb.com</i>	<i>Superintendent</i>	<i>406 697-1872</i>



Project: Cascade County Courthouse Copper Roof Replacement

Architect Project Leader

A&E Architects

Office Location: Missoula

Phone:406.721.5643

Fax:406.721.1887

222 N Higgins Ave, , Missoula, MT 59802

Missoula Registered Users:

Filicetti, Paul	pfilicetti@aearchitects.com	406.721.5643
Hogan, Ann	ahogan@aearchitects.com	406.721.5643
McDonald, Jim	jmcdonald@aearchitects.com	406.721.5643

Wiss Janney Elstner

Office Location: Chicago

Phone:312-372-0555

Fax:3123720873

10 S LaSalle, Suite 2600, Chicago, IL 60603

Chicago Registered Users:

Meyers, Larry	LMeyers@wje.com	312.925.5409
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Office Location: Philadelphia

Phone:2155670703

No Fax listed

400 Market Street, Suite 330, , Philadelphia, PA 19106

Philadelphia Registered Users:

User Not Set up	JAspin@wje.com	..
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Architect/Final Reviewer

Dept Admin/Arch & Eng Div

Office Location: Helena

Phone:406 444 3333

Fax:406 444 3399

PO Box 200103, , Helena, MT 59620-0103

Helena Registered Users:

Holien, David	dholien@mt.gov	406.444.6118
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Consultant

3 Point Architects

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

MILLER, BECKI	bdmiller@mtintouch.net	406.376.3230
---------------	------------------------	--------------

GC

Baker Roofing Company

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Rogers, Shannon srogers@bakerroofing.com

919.828.2975

Jackson Contractor Group

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Kobos, Mark markk@jacksoncontractorgroup.com

406.542.9150

Office Location: Missoula

P.O. Box 967, , Missoula, MT 59806

Phone:406-542-9150

Fax:406-542-3515

Missoula Registered Users:

Lund, James jamesl@jacksoncontractorgroup.com

406.529.5220

James Talcott Construction

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Albrecht, Jeff jeff@jtc-mt.com

406.761.0018

Kaufmann-Ulm - Harald Szimeth

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Szimeth, Harald h.szimeth@kaufmann-ulm.de

MacArthur Company

Office Location: Sioux Falls

3001 N 1st Ave, , Sioux Falls, SD 57104

Phone:6053369050

No Fax listed

Sioux Falls Registered Users:

User Not Set up gpachl@macarthurco.com

406.924.5700

Midland Engineering

Office Location: South Bend

52369 State Road 933 North, , South Bend, IN 46637

Phone:574-272-0200

Fax:574-272-7400

South Bend Registered Users:

Sage, Ken ksage@midlandengineering.com

574.272.0200

Mike's Metalworks

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Ornametals Manufacturing**Office Location not specified**

No Phone listed

No Fax listed

Registered Users:

Huber , Guenther

guenther@ornametals.com

256.255.0190

Renaissance Roofing**Office Location not specified**

No Phone listed

No Fax listed

Registered Users:

Raleigh, Bob

rwr3@renroof.com

800.699.5695

Umicore - Sammy Baron**Office Location not specified**

No Phone listed

No Fax listed

Registered Users:

Baron, Sammy

Sammy.Baron@eu.umicore.com

..

Owner**Cascade County****Office Location not specified**

No Phone listed

No Fax listed

Registered Users:

Clifton, Brian

bclifton@cascadecountymt.gov

406.454.6920

Thiel-Schaaf, Kim

kthiel-schaaf@cascadecountymt.gov

406.454.6759

Office Location: Great Falls

Phone:406-454-6759

No Fax listed

Courthouse Annex, 325 2nd Ave N, Room 103, Great Falls, MT 59401

*Great Falls Registered Users:***User Not Set up**

jlarson@cascadecountymt.gov

Briggs, Joe

jbriggs@cascadecountymt.gov

..

Ekberg, James

jdekgberg@cascadecountymt.gov

Weber, Jane

jweber@cascadecountymt.gov

..

Scanner**Builders Exchange Bozeman****Office Location not specified**

No Phone listed

No Fax listed

Registered Users:

Wagner, Stan

exchange@bozemanplanroom.com

406.586.7653

Builder's Exchange of Billings

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Hudson, Luke

bbx@billingsplanroom.com

406.652.1311

CMD Group

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Kirsch, Connie

connie.kirsch@cmdgroup.com

770.209.3395

Dodge Data & Analytics

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Gamble, Paula

paula.gamble@construction.com

253.539.9335

Great Falls Builders Exchange

Office Location not specified

No Phone listed

No Fax listed

Registered Users:

Smith, Krista

gfbe@greatfallsplans.com

406.453.2513

Vemco, Inc.

Office Location: Missoula

Phone:406.549.6113

No Fax listed

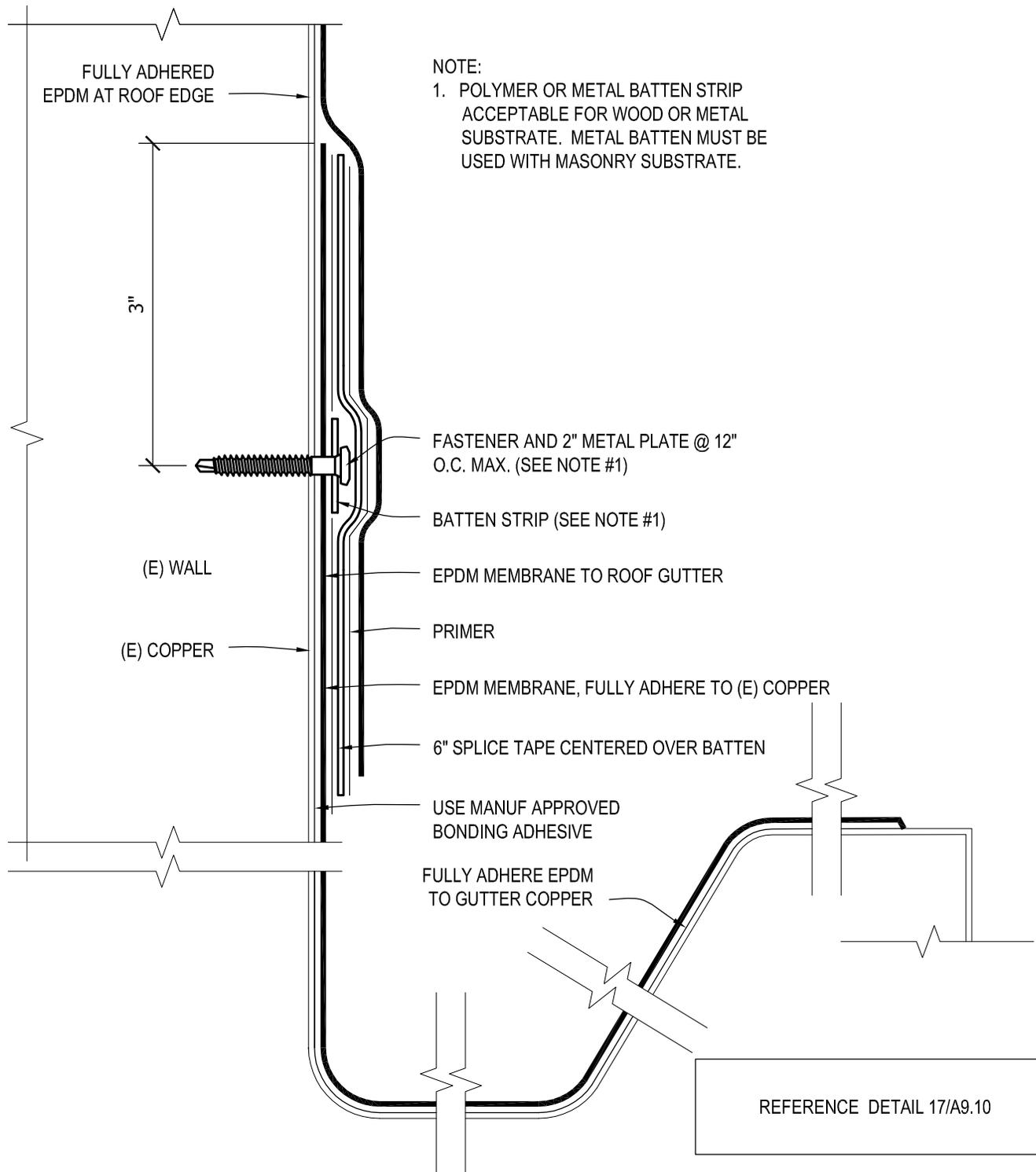
201 N Russell, , Missoula, MT 59801

Missoula Registered Users:

Brooks, Twyla

mpe@vemcoinc.com

406.549.5002



NOTE:

1. POLYMER OR METAL BATTEN STRIP ACCEPTABLE FOR WOOD OR METAL SUBSTRATE. METAL BATTEN MUST BE USED WITH MASONRY SUBSTRATE.

1 EPDM GUTTER LINER

A9.10 : ASK.001

N.T.S.



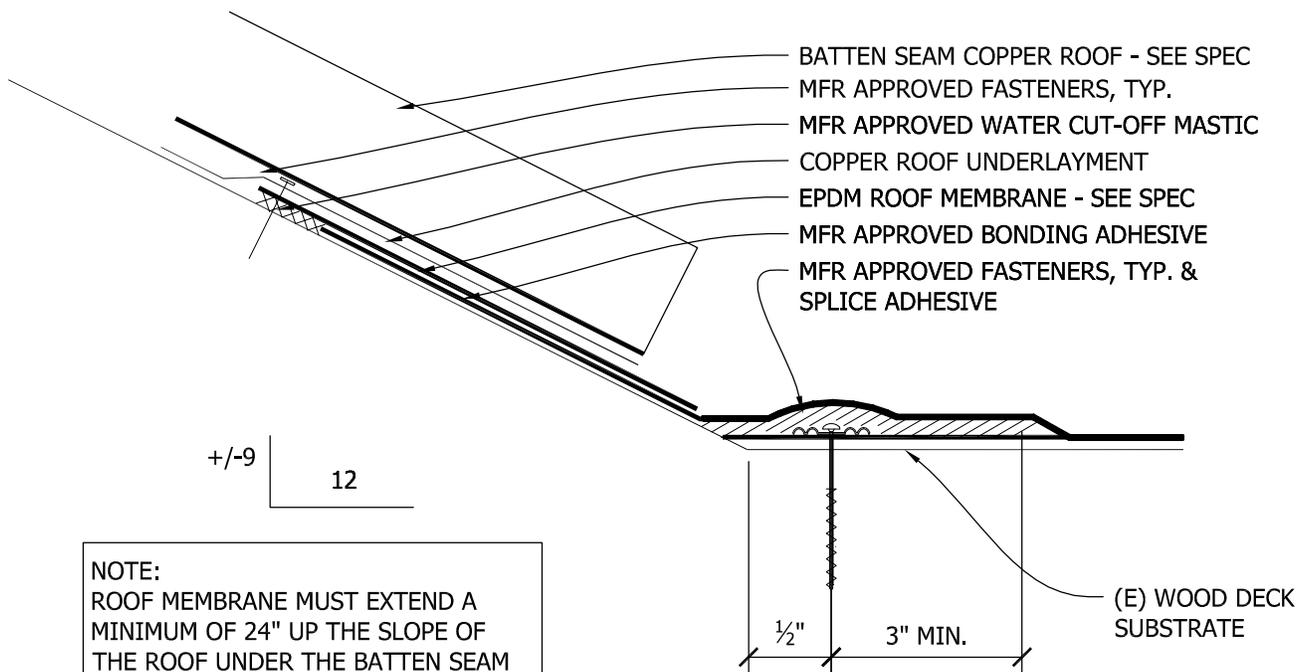
222 NORTH HIGGINS
 MISSOULA, MT 59802
 PH 406.721.5643
 FAX 406.721.1887

DRAWING ENLARGED ROOF DETAILS - ADDENDUM #1

PROJECT CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
 BOARD OF COUNTY COMMISSIONERS
 OWNER CASCADE COUNTY COURTHOUSE ANNEX
 325 2ND AVE NORTH, ROOM 111, GREAT FALLS, MT 59401

PROJECT NO 14036
 ISSUE DATE 11.11.15
 REVISIONS

ASK.001



NOTE:
 ROOF MEMBRANE MUST EXTEND A
 MINIMUM OF 24" UP THE SLOPE OF
 THE ROOF UNDER THE BATTEN SEAM
 COPPER ROOF.

NOTE:
 THIS DETAIL REPLACES DETAIL 1 SHEET A9.11

1 TYPICAL DETAIL

A9.10 : ASK.002

N.T.S.



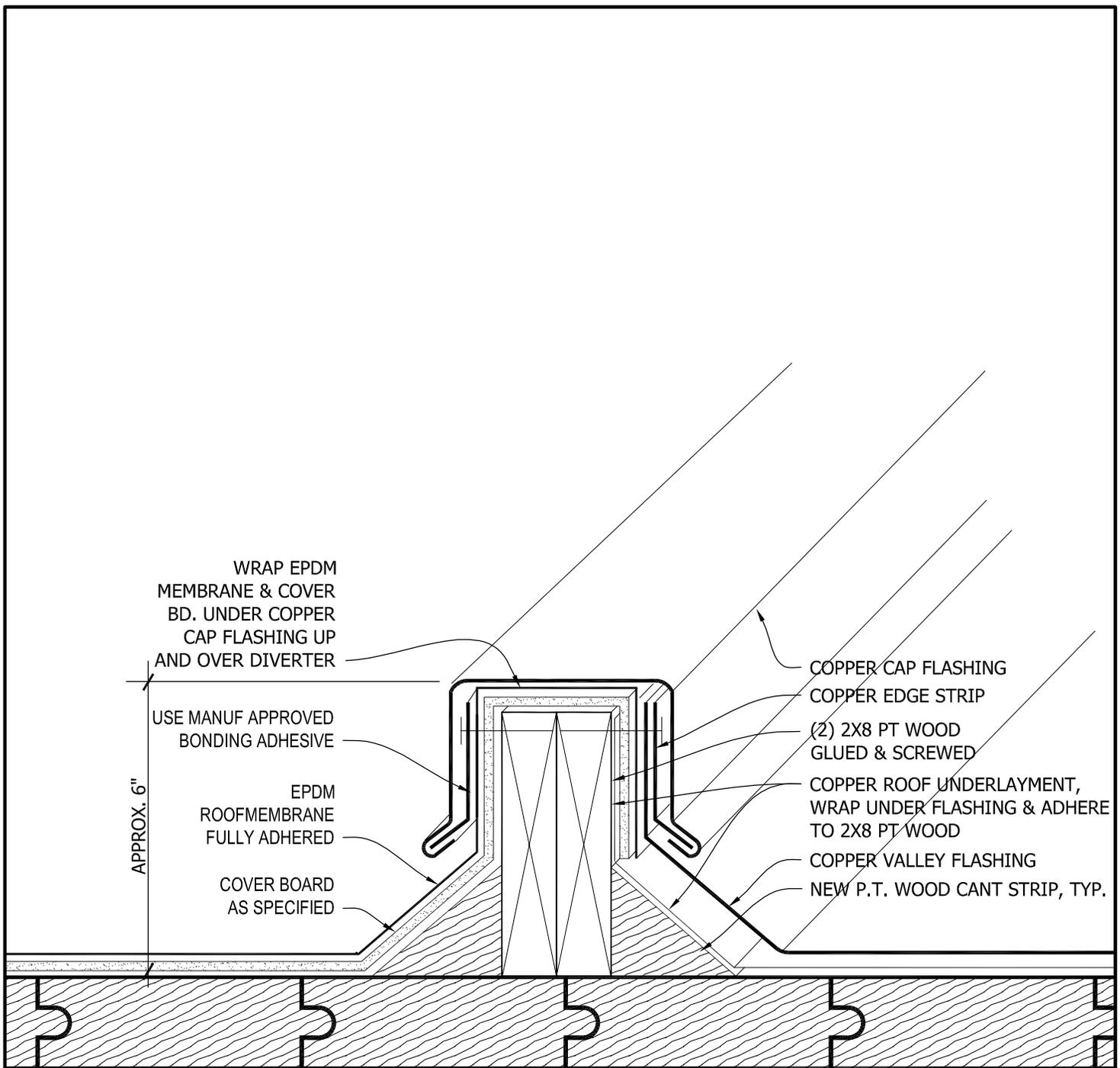
222 NORTH HIGGINS
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DRAWING ENLARGED ROOF DETAILS - ADDENDUM #1

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 BOARD OF COUNTY COMMISSIONERS
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 325 2ND AVE NORTH, ROOM 111, GREAT FALLS, MT 59401

PROJECT NO 14036
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 REVISIONS

ASK.002



WRAP EPDM
MEMBRANE & COVER
BD. UNDER COPPER
CAP FLASHING UP
AND OVER DIVERTER

USE MANUF APPROVED
BONDING ADHESIVE

EPDM
ROOFMEMBRANE
FULLY ADHERED

COVER BOARD
AS SPECIFIED

APPROX. 6"

COPPER CAP FLASHING
COPPER EDGE STRIP

(2) 2X8 PT WOOD
GLUED & SCREWED

COPPER ROOF UNDERLAYMENT,
WRAP UNDER FLASHING & ADHERE
TO 2X8 PT WOOD

COPPER VALLEY FLASHING

NEW P.T. WOOD CANT STRIP, TYP.

(E) WOOD DECK SHEATHING

NOTE:
THIS DETAIL REEPLACES DETAIL 9 SHEET A9.10

1 TYPICAL EPDM TO COPPER DIVERTER

A9.10 : ASK.003

3" = 1'-0"

A&E
ARCHITECTS^{PC}

222 NORTH HIGGINS
MISSOULA, MT 59802
PH 406.721.5643
FAX 406.721.1887

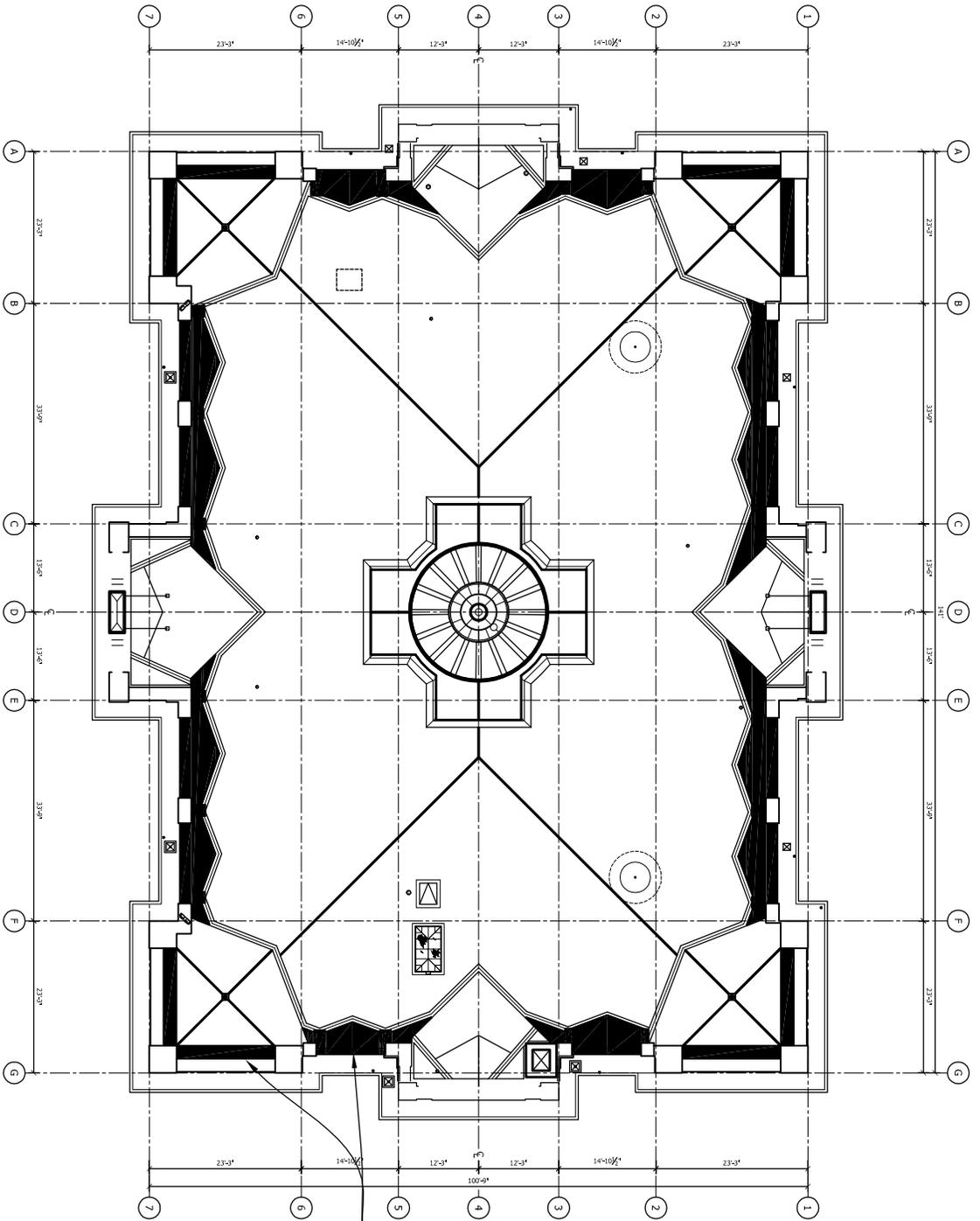
DRAWING ENLARGED ROOF DETAILS - ADDENDUM #1

PROJECT CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT

OWNER BOARD OF COUNTY COMMISSIONERS
CASCADE COUNTY COURTHOUSE ANNEX
325 2ND AVE NORTH, ROOM 111, GREAT FALLS, MT 59401

PROJECT NO 14036
ISSUE DATE 11.11.15
REVISIONS

ASK.003

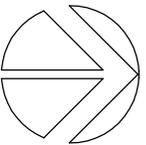


REFERENCE
ALTERNATE #1 AND 16/A2.1: SOLID HATCH AREAS INDICATE AREA OF ALTERNATE #1
 COPPER ROOF FINISH
 ROOF FINISH - FIELD COORDINATE WITH INSTALLATION OF (N) COPPER CLAD DIVERTER, (E) CONDITIONS, AND OTHER (N) COPPER ROOF FINISHES - TYP.

1 ALTERNATE #1 - ROOF PLAN

A2.1 : ASK.004

NO SCALE



A&E
 ARCHITECTS^{PC}
 222 NORTH HIGGINS
 MISSOULA, MT 59802
 PH 406.721.5643
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DRAWING ALTERNATE #1- ROOF PLAN - ADDENDUM #1

PROJECT CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
 BOARD OF COUNTY COMMISSIONERS
 CASCADE COUNTY COURTHOUSE ANNEX
 325 2ND AVE NORTH, ROOM 111, GREAT FALLS, MT 59401

PROJECT NO 14036
 ISSUE DATE 11.10.15
 REVISIONS

ASK.004



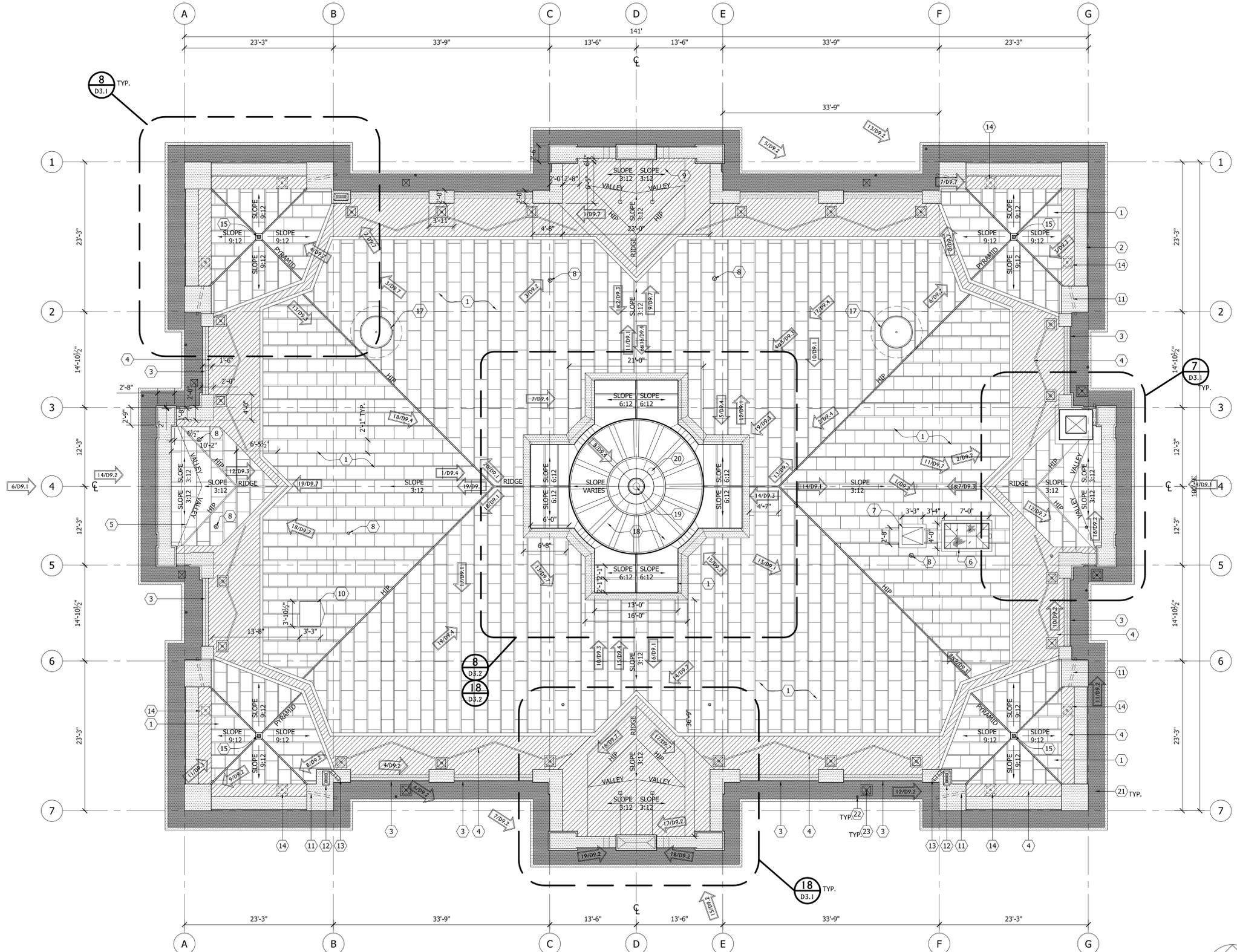
GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL COORDINATE DEMOLITION WITH FIELD CONDITIONS AND EXTENTS OF NEW WORK SHOWN IN THESE CONTRACT DOCUMENTS. NOTIFY ARCHITECT IMMEDIATELY OF ANY QUESTIONABLE CONDITIONS.
- CONTRACTOR SHALL CONDUCT ALL NECESSARY EXPLORATORY ACTIVITIES TO LOCATE AND PROTECT EXISTING SYSTEMS AND/OR STRUCTURES TO REMAIN PRIOR TO THE START OF DEMOLITIONS WORK.
- COORDINATE MISCELLANEOUS DEMOLITION / REMOVAL OF FINISHES TO REMAIN TO ACCOMMODATE NEW SYSTEMS INSTALLATION. PATCH AND REPAIR FINISH TO MATCH IN-KIND TO EXISTING FOLLOWING INTEGRATION.
- CONTRACTOR TO PROTECT EXISTING BUILDING AND ELEMENTS DURING CONSTRUCTION, TYP.
- CONTRACTOR SHALL MAINTAIN A WEATHER TIGHT ENVIRONMENT DURING ROOF REMOVAL AND REPLACEMENT, TYPICAL. ANY ELEMENTS DAMAGED OR DISTURBED BY DEMOLITION / NEW WORK SHALL BE REPLACED IN ITS ENTIRETY TO MATCH IN-KIND TO EXISTING AT CONTRACTOR'S EXPENSE. UPON COMPLETION NEW AND EXISTING WORK SHALL INTEGRATE SEAMLESSLY TO CREATE A FINISHED ARCHITECTURAL APPEARANCE.
- REMOVE ASBESTOS-CONTAINING MATERIALS AND LEAD-IN-PAINT IN EXTENTS NECESSARY TO PERFORM THE WORK INDICATED IN ACCORDANCE WITH TD&H ENGINEERING'S REVISED LIMITED PRE-RENOVATION ASBESTOS AND LEAD-IN-PAINT INSPECTION REPORT DATED SEPTEMBER 25, 2015 INCLUDED IN THE PROJECT MANUAL.
- DIMENSIONS GIVEN ARE FOR REFERENCE ONLY, FIELD VERIFY ALL CONDITIONS.
- CLEAN AND MAINTAIN ROOF DRAINS AS SPECIFIED.
- REFER TO THE SPECIFICATION WHICH INDICATES EXTENTS OF (E) COPPER FINISHES TO BE SALVAGED AND USED AS MEANS OF DEMONSTRATING 'IN-KIND' REPLACEMENT.

DEMOLITION KEYNOTES

1	REMOVE (E) COPPER BATTEN (RIBBED) SEAM ROOF FINISH IN ITS ENTIRETY, EXPOSE SHEATHING. SALVAGE SOUND WOOD BATTENS FOR REUSE.
2	REMOVE (E) COPPER PARAPET FINISHES AND FLASHING TO EXPOSE WOOD SUBSTRATE.
3	REMOVE (E) COPPER BALUSTRADE AND BALUSTERS - SEE SPEC FOR ADDITIONAL REQUIREMENTS.
4	REMOVE (E) EPDM MEMBRANE ROOF, FLASHING, TERMINATION BARS, COVER BOARD DIVERTERS, ETC. TO EXPOSE WOOD SHEATHING.
5	REMOVE (E) COPPER FLAT SEAM ROOFING IN ITS ENTIRETY TO EXPOSE WOOD SHEATHING.
6	(E) SKYLIGHT TO REMAIN. PROTECT, COORD W/ ADJACENT DEMO WORK.
7	(E) ROOF ACCESS HATCH TO REMAIN. PROTECT, COORD W/ DEMO WORK.
8	REMOVE (E) COPPER ROOF JACK FLASHING.
9	(E) METAL TIE ROD TO REMAIN, COORD. W/ DEMO WORK
10	REMOVE UNUSED ROOF ACCESS HATCH IN ITS ENTIRETY. PREPARE OPENING FOR NEW CONSTRUCTION.
11	REMOVE (E) COPPER DRAIN PIPE FROM MAIN ROOF TO BUILT-IN GUTTER (CORNICE), TYP.
12	REMOVE (E) EXHAUST FLUE METAL SCREEN, NO SALVAGE, TYP.
13	REMOVE (E) STATUE LIGHT FIXTURE FOR REMOVAL OF COPPER FINISHES AND SALVAGE FOR REINSTALLATION.
14	CAP UNUSED (E) INTERNAL ROOF DRAIN COVERED BY MEMBRANE ROOF.
15	REMOVE (E) PYRAMID FINIAL - SEE SPEC FOR ADDITIONAL REQUIREMENTS.
16	(E) SANDSTONE CHIMNEY.
17	(E) LARGE ATTIC VENTILATOR TO REMAIN, PROTECT IN PLACE, COORD W/ DEMO WORK.
18	COPPER BATTEN DOME, REMOVE AND REPLACE COPPER IN ITS ENTIRETY, SALVAGE SOUND WOOD BATTENS FOR REUSE, TYP.
19	"LADY JUSTICE" STATUE, PROTECT IN PLACE, FIELD COORD.
20	REMOVE (E) COPPER DOME ROOF ACCESS.
21	(E) BUILT-IN COPPER FINISH GUTTER TO REMAIN, PROTECT. CLEAN AND REMOVE (E) ASPHALT AND BITUMINOUS FINISH IN PREPARATION FOR NEW GUTTER FINISH. REFER TO GENERAL DEMO NOTE #6, ABOVE.
22	(E) OVERFLOW DRAIN IN COPPER GUTTER, TYP.
23	(E) COPPER GUTTER DRAIN SCREEN, REMOVE TO COORDINATE W/ NEW GUTTER FINISH TYP.

ITEM	DESCRIPTION		
	(E) BATTEN (RIBBED) SEAM COPPER ROOFING	•	ROOF VENT
	COPPER FLASHING	▮	EXHAUST FLUE
	EPDM ROOFING	▮	STATUE LIGHT
☒	INTERNAL ROOF DRAIN	▮	BUILT-IN GUTTER
*	EMERGENCY OVERFLOW ROOF DRAIN THRU CORNICE		



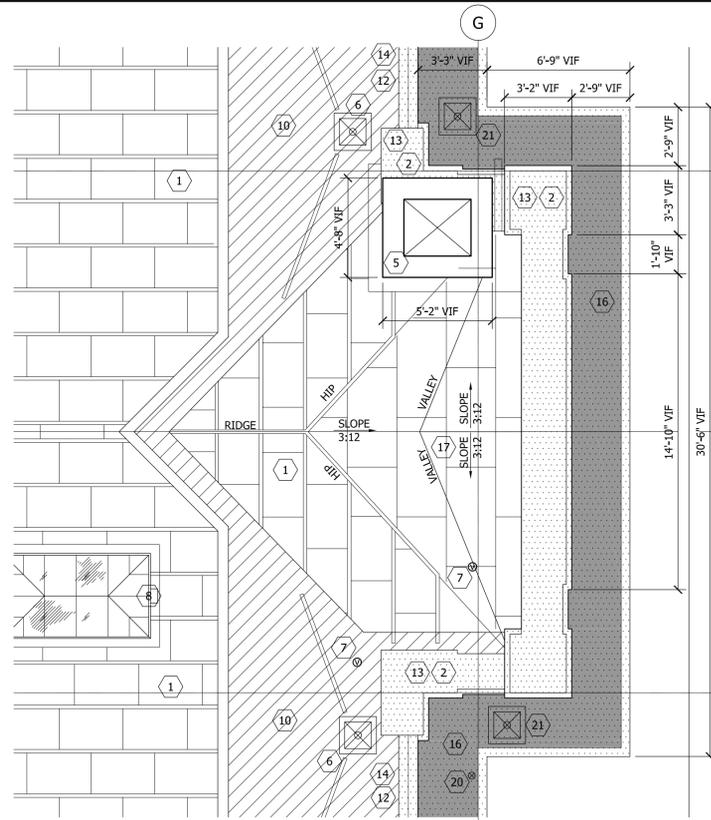
16 DEMOLITION ROOF PLAN
D2.1 : D2.1

DRAWING PROJECT OWNER
DEMOLITION ROOF PLAN
CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
BOARD OF COUNTY COMMISSIONERS
CASCADE COUNTY COURTHOUSE ANNEX
325 2ND AVE NORTH, ROOM 111, GREAT FALLS, MT 59401

PROJECT NO 14036
 ISSUE DATE 3.17.15
 REVISIONS 4.15.15
 10.16.15
 ADDENDUM #1 11.11.15

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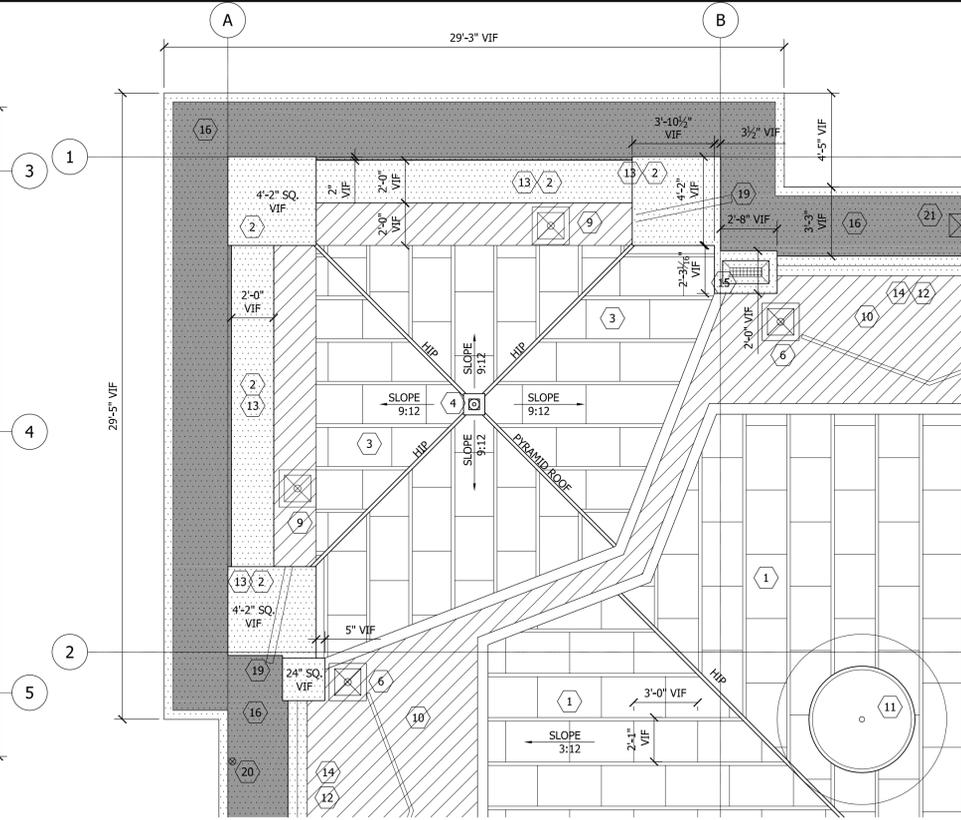


7 DEMOLITION PLAN EAST DORMER (WEST SIM)

D2.1 : D3.1



1/4" = 1'-0"

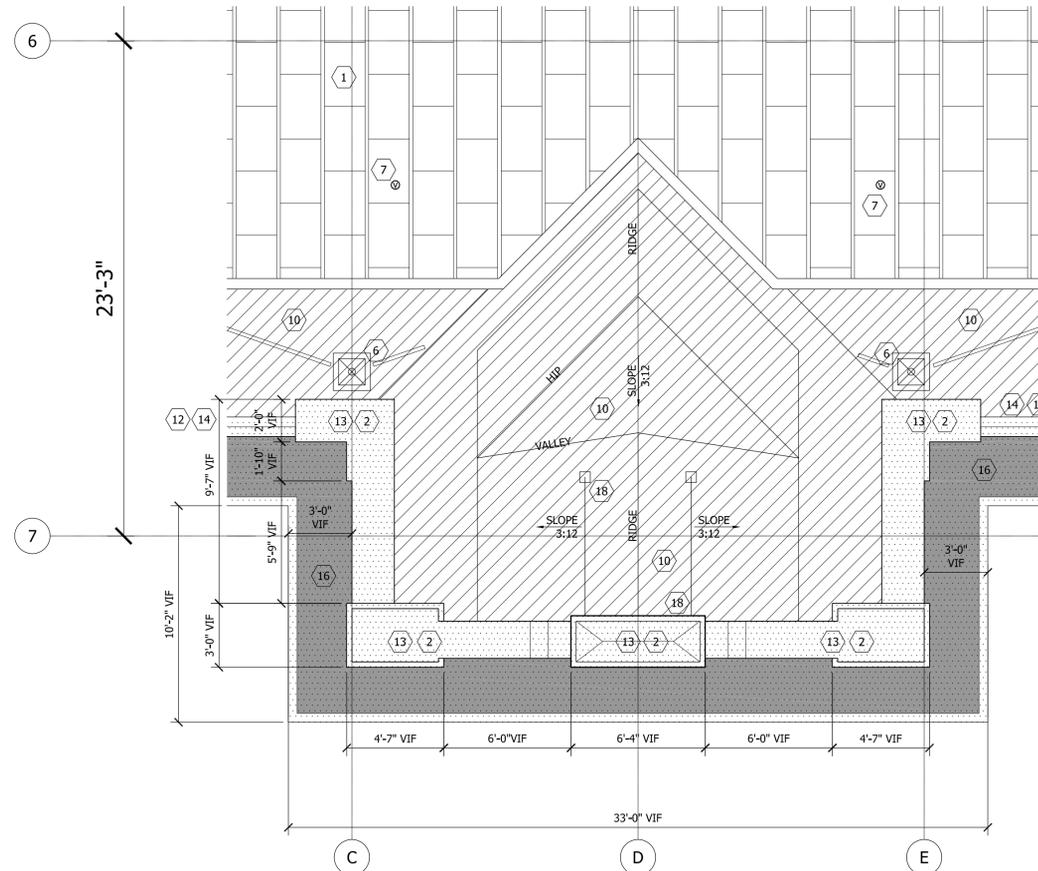


8 DEMOLITION PLAN PYRAMID ROOF - TYPICAL
(4 LOCATIONS)

D2.1 : D3.1



1/4" = 1'-0"



18 DEMOLITION PLAN SOUTH DORMER (NORTH SIMILAR)

D2.1 : D3.1



1/4" = 1'-0"

GENERAL DEMOLITION NOTES

1. REMOVE EXISTING COPPER FINISHES IN THEIR ENTIRETY TO EXPOSE WOOD SHEATHING.
2. REMOVE EXISTING FLASHINGS AND COUNTER FLASHING IN THEIR ENTIRETY. SALVAGE SOUND WOOD BATTENS, TYPICALLY - SEE SPECIFICATIONS.
3. SALVAGE SOUND WOOD BATTENS, TYPICALLY - SEE SPECIFICATIONS.
4. REFERENCE D9.5 & D9.6 FOR CAST IRON WORK NOT NOTED ON THESE SHEETS.
5. REFERENCE D3.2 FOR SANDSTONE WORK NOT INDICATED ON THESE SHEETS.
6. PROTECT AND MAINTAIN (E) ROOF DRAINS - SEE SPECIFICATIONS.
7. MAINTAIN & PROTECT "LADY JUSTICE" IN PLACE, COORDINATE SELECTIVE DEMOLITION AT BASE W/ COPPER REMOVAL AT DOME.
8. EXPOSE COPPER FINISH IN EXISTING BUILT-IN GUTTER, PREP COPPER SURFACE FOR NEW WORK - TYPICAL.
9. REMOVE EXISTING WATER DAMAGED WOOD SHEATHING AND REPLACE IN-KIND, TYP. REFER TO THE SPECIFICATION WHICH INDICATES EXTENTS OF (E) COPPER FINISHES TO BE SALVAGED AND USED AS MEANS OF DEMONSTRATING 'IN-KIND' REPLACEMENT.
10. REMOVE ASBESTOS-CONTAINING MATERIALS AND LEAD-PAINT IN EXTENTS NECESSARY TO PERFORM THE WORK INDICATED IN ACCORDANCE WITH TD&H ENGINEERING'S REVISED LIMITED PRE-RENOVATION ASBESTOS AND LEAD-PAINT INSPECTION REPORT DATED SEPTEMBER 25, 2015 INCLUDED IN THE PROJECT MANUAL.
- 11.

DEMOLITION KEYNOTES

1. REMOVE (E) COPPER ROOF AND DRUM COPPER FINISH FROM DOME - TYP. SALVAGE SOUND WOOD BATTENS FOR REUSE, PREPARE SHEATHING FOR NEW FINISH.
2. REMOVE (E) COPPER PEDIMENT FINISH IN ITS ENTIRETY INCLUDING COPPER TYMPANUM AND HORIZONTAL CORNICE FINISHES - SALVAGE SOUND WOOD BATTENS FOR REUSE. PREPARE SHEATHING FOR NEW FINISH.
3. REMOVE (E) COPPER HIP AND PYRAMID ROOF FINISHES. SALVAGE SOUND WOOD BATTENS FOR REUSE, TYPICAL. PREP SHEATHING FOR NEW FINISH.
4. REMOVE (E) COPPER ROOF FINIAL, SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
5. (E) SANDSTONE CHIMNEY, COORD W/ NEW WORK.
6. (E) ROOF DRAIN, COORDINATE WITH REMOVAL OF (E) ROOF FINISH. PREP FOR NEW WORK.
7. REMOVE (E) COPPER VENT ROOF JACK FLASHING, TYP. - SEE SPECIFICATION.
8. PROTECT (E) GLASS SKYLIGHT TO REMAIN - REMOVE (E) COPPER WALL FLASHING - PREPARE SHEATHING FOR NEW FINISH.
9. (E) COVERED/UNUSED ROOF DRAIN BELOW EPDM ROOF FINISH, TYPICAL.
10. REMOVE EPDM MEMBRANE ROOF FINISH, UNDERLAYMENT, FLASHINGS, AND ACCESSORIES IN THEIR ENTIRETY - SALVAGE WOOD BATTENS FOR REUSE. PREPARE SHEATHING FOR NEW FINISH.
11. (E) ATTIC VENT TO REMAIN - PROTECT - COORDINATE REMOVAL OF COPPER ROOF FINISHES & TRIMS ADJACENT - 2 LOCATIONS.
12. SALVAGE (E) COPPER BALUSTER AS SPECIFIED, REMOVE (E) COPPER BALUSTRADE, AND TOP AND BOTTOM RAILS.
13. REMOVE (E) COPPER PARAPET WALL FINISHES IN THEIR ENTIRETY. PREPARE FOR NEW FINISH, SEE SPEC.
14. REMOVE (E) BALUSTER, SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
15. REMOVE (E) EXHAUST FLUE METAL SCREEN, NO SALVAGE. PREP FOR (N) WORK.
16. HATCH INDICATES (E) BUILT-IN COPPER GUTTER AT CORNICE - CLEAN TO REMOVE ASPHALT AND BITUMINOUS FINISHES AND EXPOSE EXISTING COPPER FINISH - PREP COPPER SURFACE FOR NEW WORK - TYPICAL. REFER TO GENERAL DEMO NOTE #11, ABOVE.
17. REMOVE (E) FLAT SEAM COPPER ROOF FINISH IN ITS ENTIRETY - PREPARE SHEATHING FOR NEW FINISH - TYPICAL.
18. PROTECT (E) PARAPET SUPPORT RODS TO REMAIN - TYPICAL. COORDINATE WITH REMOVAL OF ADJACENT ROOFING AND PARAPET WALL FINISHES.
19. REMOVE (E) COPPER THRU-WALL DRAIN PIPE, AND PREPARE SURFACES FOR (N) WORK, TYPICALLY.
20. (E) OVERFLOW DRAIN, COORDINATE WITH PREPARATION OF BUILT-IN GUTTER WORK INDICATED.
21. (E) BUILT-IN GUTTER DRAIN, COORDINATE WITH PREPARATION OF BUILT-IN GUTTER WORK INDICATED.

LEGEND

ITEM	DESCRIPTION		
	BATTEN (RIBBED) SEAM COPPER ROOFING		INTERNAL ROOF DRAIN
	COPPER FLASHING		EMERGENCY OVERFLOW ROOF DRAIN THRU CORNICE
	EPDM ROOFING		ROOF VENT
	BUILT-IN GUTTER		



ENLARGED DEMOLITION DORMER & PYRAMID ROOF PLANS
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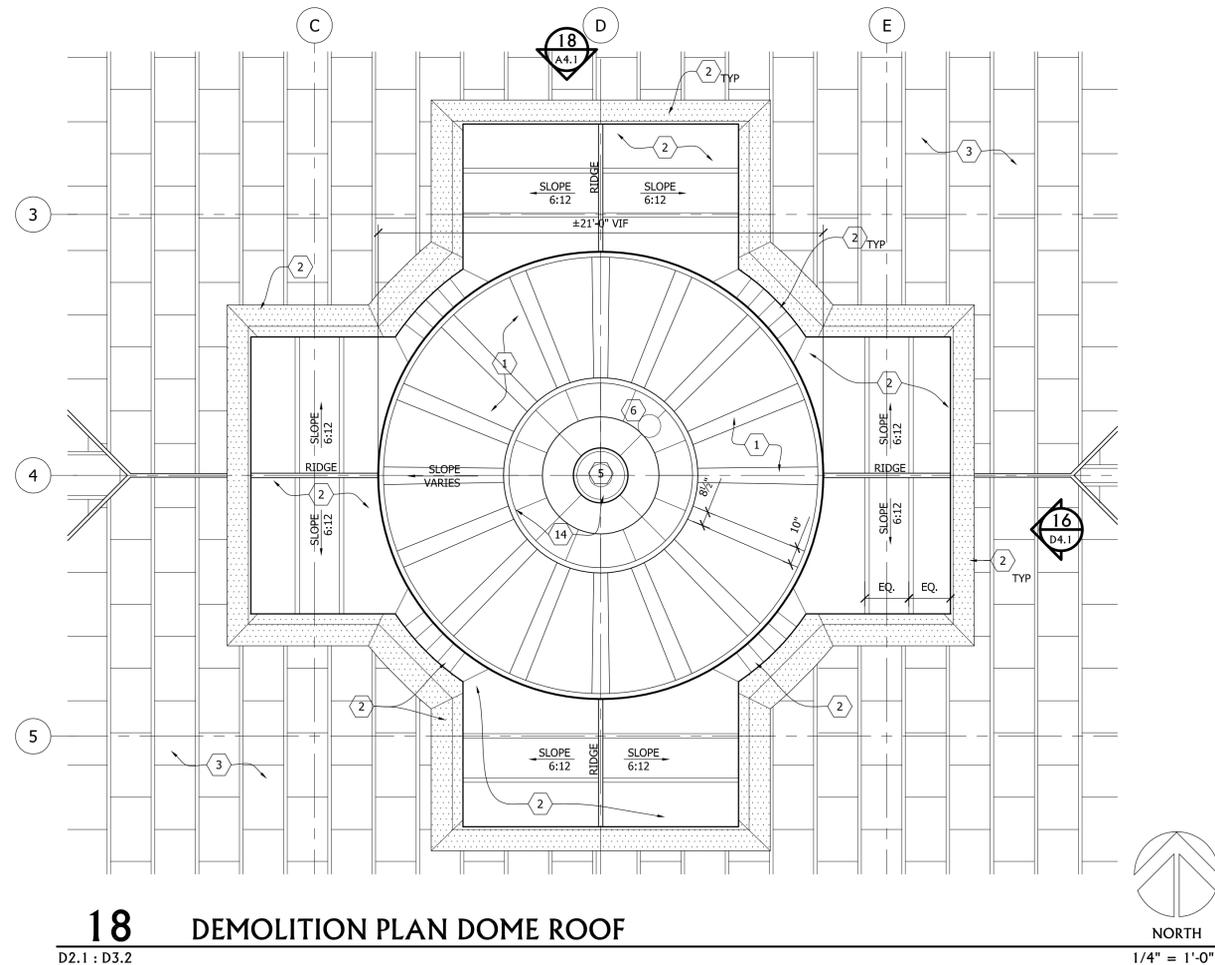
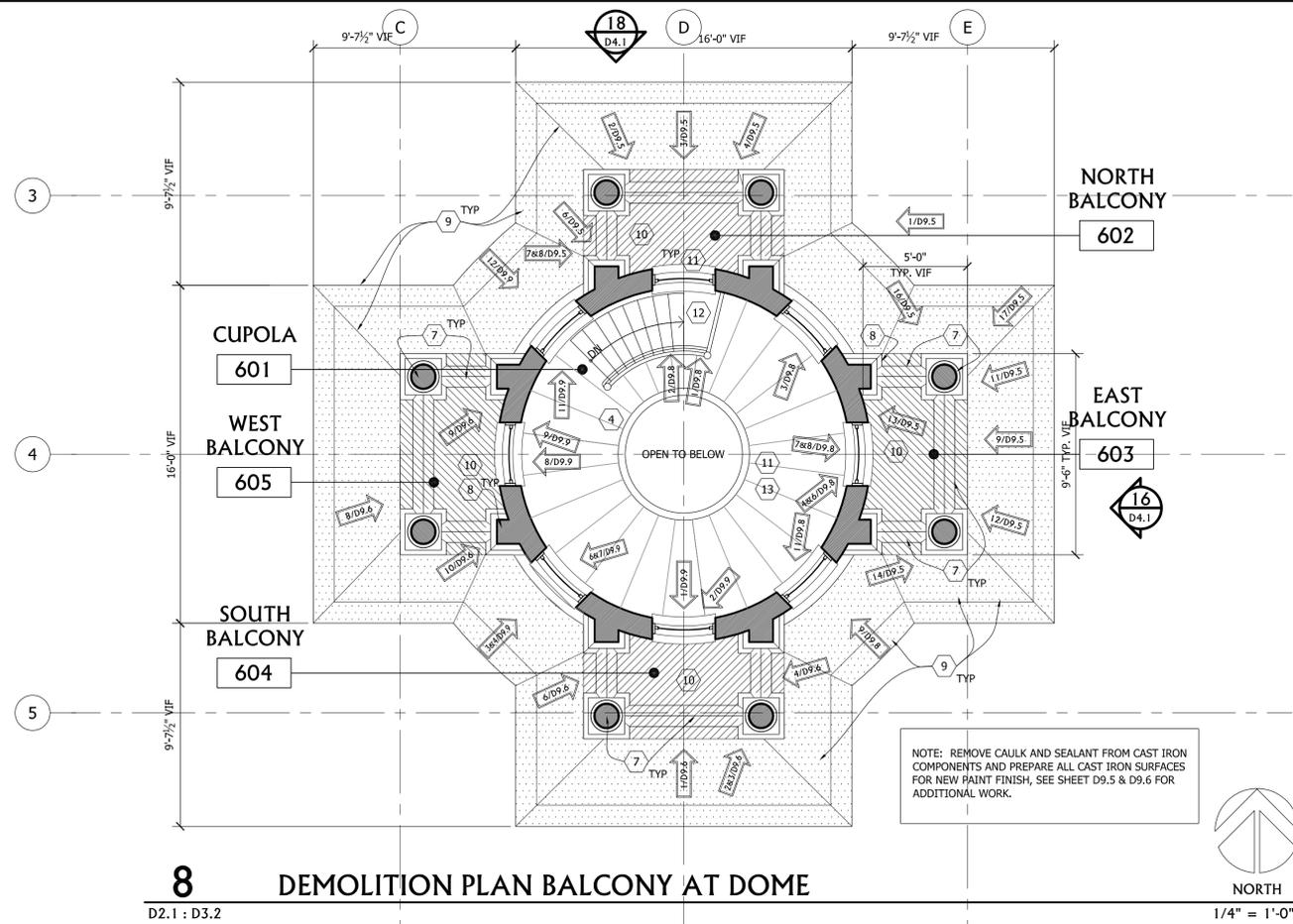
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ADDENDUM #1

D3.1



GENERAL DEMOLITION NOTES

- REMOVE EXISTING COPPER FINISHES IN THEIR ENTIRETY TO EXPOSE WOOD SHEATHING.
- REMOVE EXISTING FLASHINGS AND COUNTER FLASHING IN THEIR ENTIRETY.
- SALVAGE SOUND WOOD BATTENS, TYPICALLY - SEE SPECIFICATIONS.
- REFERENCE D9.5 & D9.6 FOR CAST IRON WORK NOT NOTED ON THESE SHEETS.
- REFERENCE D3.2 FOR SANDSTONE WORK NOT INDICATED ON THESE SHEETS.
- PROTECT AND MAINTAIN (E) ROOF DRAINS - SEE SPECIFICATIONS.
- MAINTAIN & PROTECT "LADY JUSTICE" IN PLACE, COORDINATE SELECTIVE DEMOLITION AT BASE w/ COPPER REMOVAL AT DOME.
- EXPOSE COPPER FINISH IN EXISTING BUILT-IN GUTTER, PREP COPPER SURFACE FOR NEW WORK - TYPICAL.
- REMOVE EXISTING WATER DAMAGED WOOD SHEATHING AND REPLACE IN-KIND, TYP. REFER TO THE SPECIFICATION WHICH INDICATES EXTENTS OF (E) COPPER FINISHES TO BE SALVAGED AND USED AS MEANS OF DEMONSTRATING 'IN-KIND' REPLACEMENT.
- REMOVE ASBESTOS-CONTAINING MATERIALS AND LEAD-IN-PAINT IN EXTENTS NECESSARY TO PERFORM THE WORK INDICATED IN ACCORDANCE WITH TD&H ENGINEERING'S REVISED LIMITED PRE-RENOVATION ASBESTOS AND LEAD-IN-PAINT INSPECTION REPORT DATED SEPTEMBER 25, 2015 INCLUDED IN THE PROJECT MANUAL.

DEMOLITION KEYNOTES

- REMOVE (E) COPPER ROOF AND COPPER DRUM FINISH FROM DOME - TYP. SALVAGE SOUND WOOD BATTENS FOR REUSE, PREPARE SHEATHING FOR NEW FINISH.
- REMOVE (E) COPPER PEDIMENT FINISH IN ITS ENTIRETY INCLUDING COPPER TYMPANUM AND HORIZONTAL CORNICE FINISHES - SALVAGE SOUND WOOD BATTENS FOR REUSE. PREPARE SHEATHING FOR NEW FINISH.
- REMOVE (E) COPPER HIP AND PYRAMID ROOF FINISHES. SALVAGE SOUND WOOD BATTENS FOR REUSE, TYPICAL. SALVAGE FINIAL AS SPECIFIED. PREP SUBSTRATE FOR NEW FINISH.
- (E) INTERIOR GUARDRAIL AND OPENING TO BELOW, NO WORK.
- "LADY JUSTICE" AT TOP OF COPPER DOME TO REMAIN, COORDINATE WITH REMOVAL OF ADJACENT COPPER DOME FINISHES.
- REMOVE (E) DOME COPPER ACCESS HATCH
- (E) CAST IRON COLUMNS, CORINTHIAN COLUMN CAPITOLS, BALUSTRADE AND BALUSTERS - REPAIR AS INDICATED.
- (E) SANDSTONE DRUM OF DOME, REPAIR AS INDICATED.
- HATCH INDICATES COPPER FLASHING AND COPPER FINISH AT SCROLL AND WALL AT BASE OF DOME. REMOVE IN ITS ENTIRETY, PREP SHEATHING FOR NEW FINISH, TYPICALLY.
- HATCH INDICATES FLAT ROOF AT BALCONIES, REMOVE COPPER ROOF FINISHES.
- (E) WOOD DOUBLE HUNG WINDOW SASH AT DOME (2 SIZES) TO BE REMOVED AND REPLACED WITH NEW AS INDICATED. PREPARE EXISTING WOOD WINDOW FRAME AND TRANSOM FOR NEW FINISH.
- (E) INTERIOR STAIR AND HANDRAIL, NO WORK.
- (E) INTERIOR DOUBLE HUNG WINDOW FRAME, TRIM AND STOOL, PREPARE FOR NEW FINISH.
- REMOVE (E) COPPER BASE FLASHING AT "LADY JUSTICE" AND TOP OF DOME - PREPARE SHEATHING FOR NEW COPPER FINISH.

LEGEND	
ITEM	DESCRIPTION
[Symbol]	BATTEN (RIBBED) SEAM
[Symbol]	COPPER ROOFING
[Symbol]	COPPER FLASHING
[Symbol]	EPDM ROOFING



ENLARGED DEMOLITION DOME & BALCONY PLANS
 CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
 BOARD OF COUNTY COMMISSIONERS
 CASCADE COUNTY COURTHOUSE ANNEX
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ADDENDUM #1

D3.2



NOT USED

2 SOUTH ENTRANCE

D7.1 : D7.1

PHOTOGRAPH

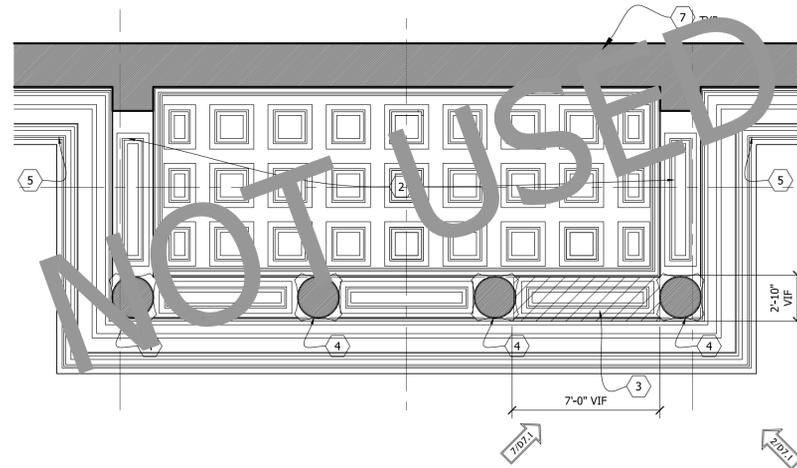


NOT USED

7 SOUTH ENTRANCE DETAIL

D7.1 : D7.1

PHOTOGRAPH



8 DEMOLITION REFLECTED CEILING PLAN: SOUTH ENTRANCE

D7.1 : D7.1



NORTH

1/4" = 1' - 0"

GENERAL DEMOLITION NOTES

1. REMOVE EXISTING COPPER FINISHES IN THEIR ENTIRETY TO EXPOSE WOOD SHEATHING.
2. REMOVE EXISTING FLASHINGS AND COUNTER FLASHING IN THEIR ENTIRETY.
3. SALVAGE SOUND WOOD BATTENS, TYPICALLY - SEE SPECIFICATIONS.
4. REFERENCE D9.5 & D9.6 FOR CAST IRON WORK NOT NOTED ON THESE SHEETS.
5. REFERENCE D3.2 FOR SANDSTONE WORK NOT INDICATED ON THESE SHEETS.
6. PROTECT AND MAINTAIN (E) ROOF DRAINS - SEE SPECIFICATIONS.
7. MAINTAIN & PROTECT "LADY JUSTICE" IN PLACE, COORDINATE SELECTIVE DEMOLITION AT BASE w/ COPPER REMOVAL AT DOME.
8. EXPOSE COPPER FINISH IN EXISTING BUILT-IN GUTTER, PREP COPPER SURFACE FOR NEW WORK - TYPICAL.
9. REMOVE EXISTING WATER DAMAGED WOOD SHEATHING AND REPLACE IN-KIND, TYP. REFER TO THE SPECIFICATION WHICH INDICATES EXTENTS OF (E) COPPER FINISHES TO BE SALVAGED AND USED AS MEANS OF DEMONSTRATING 'IN-KIND' REPLACEMENT.
10. REMOVE ASBESTOS-CONTAINING MATERIALS AND LEAD-IN-PAINT IN EXTENTS NECESSARY TO PERFORM THE WORK INDICATED IN ACCORDANCE WITH TD&H ENGINEERING'S REVISED LIMITED PRE-RENOVATION ASBESTOS AND LEAD-IN-PAINT INSPECTION REPORT DATED SEPTEMBER 25, 2015 INCLUDED IN THE PROJECT MANUAL.
- 11.

DEMOLITION KEYNOTES

1. REMOVE (E) COPPER CEILING FINISH AT PORTICO - TYPICALLY, PREPARE SUBSTRATE FOR NEW FINISH.
2. (E) COPPER CEILING FINISH AT SOUTH ENTRY TO REMAIN, NO WORK.
3. HATCH INDICATES APPROXIMATE EXTENTS OF (E) LOOSE COPPER COFFERED CEILING PANEL AT SOUTH ENTRY; REMOVE AND SALVAGE PANEL FOR RE-INSTALLATION. REMOVE (E) DETERIORATED WOOD SHEATHING AND BLOCKING, TYPICALLY. SALVAGE REMOVED PANEL FOR RE-INSTALLATION.
4. (E) COLUMN AND CORINTHIAN CAPITAL - REMOVE (E) GROUT FILL AT EACH LOCATION, PREP FOR NEW GROUT FILL.
5. UNDERSIDE OF (E) COPPER CORNICE AND BUILT-IN GUTTER, NO WORK.
6. (E) DOME ATTIC ACCESS HATCH - REMOVE AND REPLACE WITH NEW COPPER FINISHED DOME ACCESS HATCH.
7. HATCH INDICATES (E) EXTERIOR SANDSTONE ENVELOPE.
8. REMOVE (E) COPPER FINISHES AT UNDERSIDE OF DORMER, TYMPANUM AND HORIZONTAL CORNICE TYPICALLY, PREPARE SUBSTRATE FOR NEW FINISH, TYPICALLY.



12 DOME PORTICO

D7.1 : D7.1

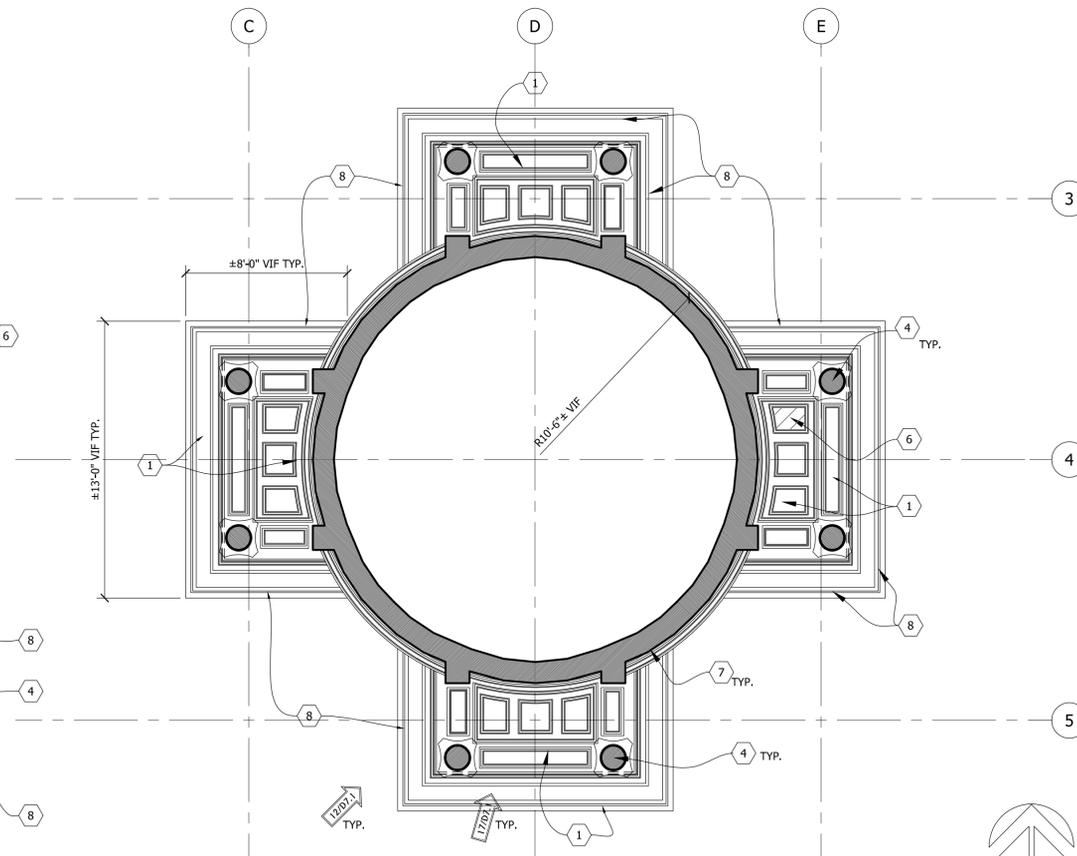
PHOTOGRAPH



17 DOME PORTICO DETAIL

D7.1 : D7.1

PHOTOGRAPH



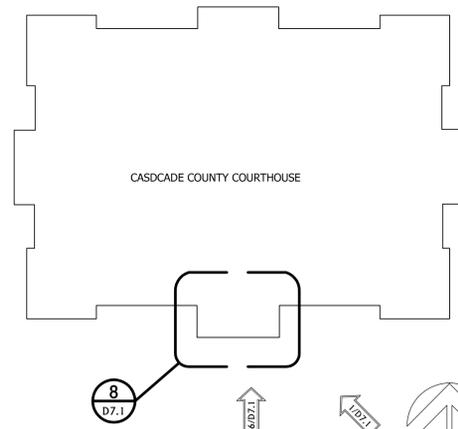
18 DEMOLITION REFLECTED CEILING PLAN: DOME PORTICO

D4.1 : D7.1



NORTH

1/4" = 1' - 0"



19 REFERENCE PLAN

NOT TO SCALE



DEMOLITION REFLECTED CEILING PLAN: DOME & SOUTH ENTRY
 CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
 BOARD OF COUNTY COMMISSIONERS
 CASCADE COUNTY COURTHOUSE ANNEX
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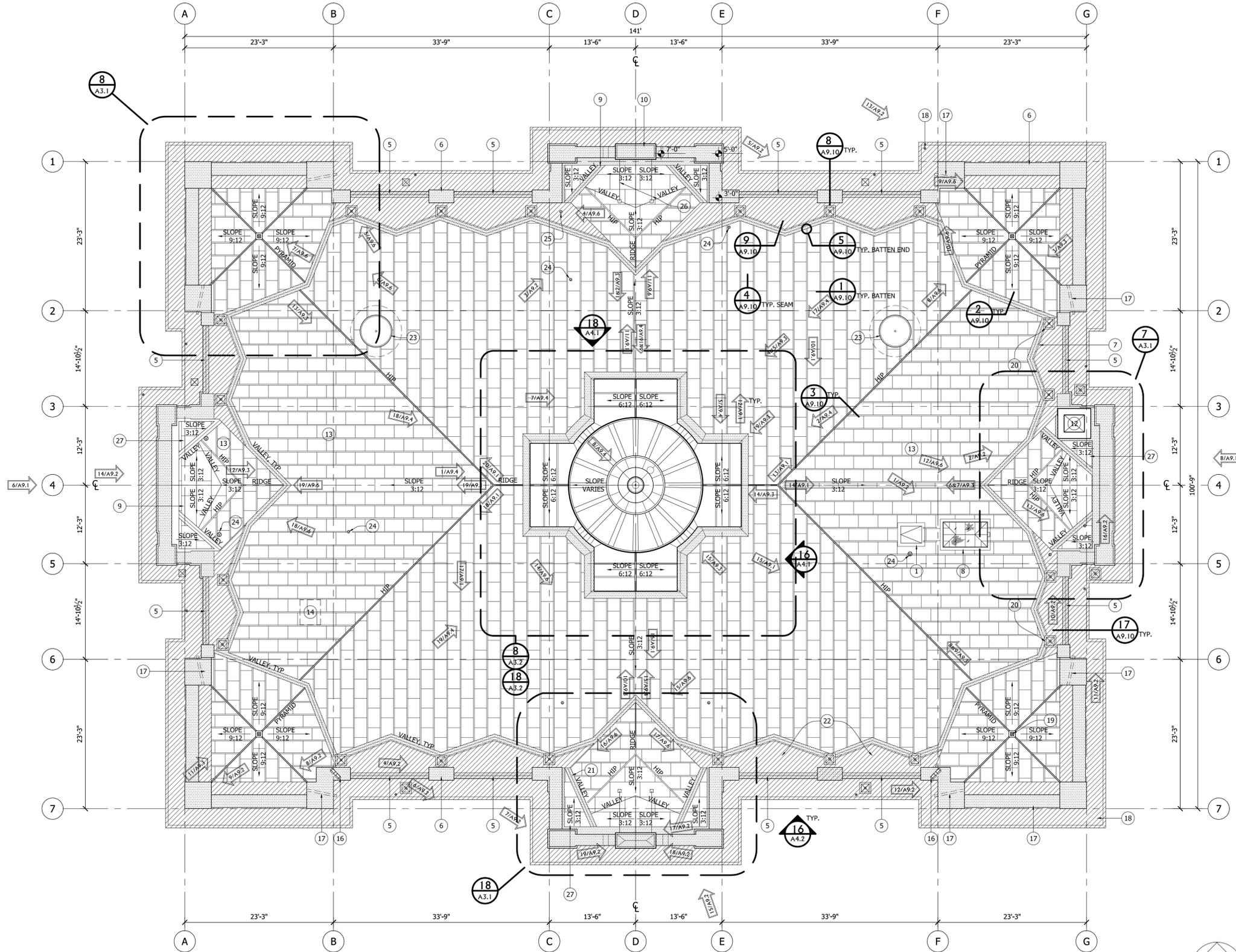
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ADDENDUM #1

D7.1

GENERAL CONSTRUCTION NOTES

- REMOVE AND REPLACE (E) WATER DAMAGED AND / OR DETERIORATED AND UNSOUND WOOD SHEATHING IN-KIND TO (E) SHEATHING TO PROVIDE NEW P.T. WOOD SHEATHING FOR NEW COPPER FINISHES.
- NEW WORK SHALL MATCH (E) DETAIL AND / OR CONDITION "IN-KIND" UNLESS NOTED OTHERWISE, TYPICALLY.
- ROOFING AND FLASHING TO BE COPPER UNLESS NOTED OTHERWISE, TYPICALLY.
- PROVIDE SELF-ADHERED ROOFING UNDERLAYMENT FOR HIGH TEMPERATURE APPLICATIONS UNDER COPPER FINISHES. PREPARE/PRIME ROOF DECK ACCORDING TO MFR RECOMMENDATIONS.
- REPLACE ALL CAULKING BETWEEN CAST IRON BALUSTRADE AND SANDSTONE DRUM AT THE DRUM PORTICO LEVEL, TYPICALLY. PREP, PRIME AND REPAINT CAST IRON.
- MAINTAIN (E) ROOF DRAINS AND OVERFLOW DRAINS, TYPICALLY.
- SHOP BUILD DECORATIVE COPPER DETAILS TO MATCH IN-KIND TO (E) DETAIL TYPICALLY. FIELD VERIFY CONDITIONS AND INSTALLATION TO NEW COPPER FINISHES.
- REINSTALL SALVAGED SOUND WOOD BATTENS, PROVIDE NEW TO REPLACE DAMAGED AND OR DETERIORATED W/ P.T. WOOD BATTENS, TYPICALLY.
- PREPARE (E) BUILT-IN GUTTER FOR NEW FULLY ADHERED EPDM MEMBRANE ROOF FINISH, TYPICALLY. COORDINATE WITH (E) GUTTER DRAIN AND OVER-FLOW DRAIN SCHEDULED TO REMAIN AND COPPER CORNICE SCHEDULED TO REMAIN.
- INSTALL COPPER PARAPET FINISHES TO ENCLOSE (E) ABANDONED SKY FACING CHIMNEY OPENINGS, TYPICALLY.
- REINSTALL SALVAGED SOUND WOOD BATTENS, PROVIDE NEW TO REPLACE DAMAGED AND OR DETERIORATED BATTENS WITH NEW P.T. BATTENS IN-KIND TO (E).
- REFER TO THE SPECIFICATION WHICH INDICATES EXTENTS OF (E) COPPER FINISHES TO BE USED AS A MEANS TO DEMONSTRATE IN-KIND REPLACEMENTS. COORDINATE QUESTIONABLE CONDITIONS W/ THE ARCHITECT.
- DIMENSIONS GIVEN ARE FOR REFERENCE ONLY, VERIFY DIMENSIONS IN THE FIELD.



KEYNOTES

- COPPER FLASHING TO (E) ROOF ACCESS HATCH - TYPICALLY.
- COPPER BATTEN SEAM DOME ROOF FINISH, COORDINATE WITH "LADY JUSTICE" AND NEW COPPER DOME ACCESS HATCH LID, TYPICALLY.
- COPPER BATTEN SEAM PORTICO ROOF, TYMPANUM, AND HORIZONTAL CORNICE AT DOME, TYPICALLY.
- COPPER SINGLE LOCK W/ SOLDERED FLAT SEAM SCROLLS, TYPICALLY. FIELD VERIFY CONDITIONS TO MATCH IN-KIND TO EXISTING
- COPPER BALUSTERS AT BALUSTRADE, TYPICALLY. COORDINATE WITH NEW COPPER FINISH TO TOP AND BOTTOM RAIL OF BALUSTRADE AND ADJACENT PARAPET WALL FINISH, TYPICALLY. NEW COPPER BALUSTERS TO MATCH IN-KIND TO (E).
- COPPER PARAPET COPING, SLOPE TO DRAIN TYPICALLY - SEE 8/A9.10 FOR CAP FLASHING AND 16/A9.10 FOR COUNTERFLASHING DETAIL.
- NEW AND/OR SALVAGED WOOD DIVERTERS (PROFILE AS BATTENS) COVER WITH FULLY ADHERED EPDM MEMBRANE AND COPPER ROOF UNDERLAYMENT, TYPICALLY. COVER WITH COPPER BATTEN FLASHING, TYPICALLY.
- PROVIDE COPPER FLASHING AND COPPER WALL FINISH TO (E) SKYLIGHT, TYPICALLY.
- SINGLE LOCK COPPER ROOF FINISH WITH SOLDERING FLAT SEAMS, TYPICALLY.
- CUSTOM SHOP BUILT COPPER PARAPET DECORATIVE DETAIL TO MATCH IN-KIND TO EXISTING BLIND-SOLDER ALL SEAMS, TYPICALLY. COORDINATE INSTALLATION WITH EXISTING CONDITIONS AND NEW PARAPET COPPER CAP, TYPICALLY.
- NOT USED.
- (E) SANDSTONE CHIMNEY, REPOINT. COORDINATE NEW COPPER ROOFING, FLASHING, NEW COPPER PARAPET WALL AND CAP FINISHES, TYPICALLY.
- COPPER SEAM AND BATTEN ROOF FINISH TO MATCH IN-KIND TO EXISTING. INSTALL TO PREPARED SHEATHING, TYPICALLY. REUSE EXISTING SOUND WOOD BATTENS, PROVIDE NEW P.T. BATTENS AS REQUIRED, TYPICALLY.
- INFILL ROOF FRAMING AND SHEATHING AT LOCATION OF REMOVED ABANDONED ROOF ACCESS HATCH, FIRE PROOF INTERIOR SIDE OF NEW SHEATHING WITH 2 LAYERS TYPE 'X' GYP BD SPECIFIED, TYPICALLY. FIRE TAPE, NO FINISH, TYPICALLY.
- COPPER DOME ACCESS LID, FIELD COORDINATE TO MATCH IN-KIND TO (E) CONDITIONS. SECURE IN PLACE TO MATCH (E) CONDITION.
- (E) PARAPET MOUNTED LIGHT FIXTURE AND CONDUIT. REMOVE AS REQUIRED FOR SELECTIVE DEMOLITION AND INSTALLATION OF NEW COPPER PARAPET CAP AND COPPER WALL FINISHES. REINSTALL TO ORIGINAL CONDITION/LOCATION. SEPARATE METALS AS REQUIRED, TYPICALLY.
- (E) THRU-WALL COPPER ROOF DRAIN PIPE - REMOVE AND REPLACE WITH NEW TO MATCH IN-KIND TO HISTORIC CONDITION, TYPICALLY. FIELD VERIFY CONDITIONS TO MATCH.
- FULLY ADHERED EPDM MEMBRANE ROOF TO LINE (E) BUILT-IN COPPER GUTTER, TYPICALLY. FIELD COORDINATE WITH (E) BUILT-IN GUTTER DRAINS, OVERFLOW DRAINS AND NEW COPPER PARAPET WALL FINISH, TYPICALLY.
- COPPER FINIAL, TYPICALLY AT HIP ROOF, MATCH IN-KIND TO EXISTING.
- (E) ROOF DRAIN, COORDINATE WITH NEW WOOD BATTENS, MEMBRANE ROOF, AND COPPER ROOF FINISHES, TYPICALLY.
- COPPER FLASHING, COORDINATE CONDITIONS WITH NEW COPPER ROOF FINISHES AND WOOD BATTENS, TYPICALLY.
- FULLY ADHERED EPDM MEMBRANE AND UNDERLAYMENT, TYPICALLY. EXTEND MEMBRANE UNDER BOTTOM RAIL OF BALUSTRADE INTO BUILT-IN GUTTER AND EPDM MEMBRANE FINISHES TO BUILT-IN GUTTER, SEAM AS REQUIRED, TYPICALLY.
- (E) ATTIC VENT, COORDINATE FLASHING WITH NEW COPPER ROOF FINISH AND WOOD BATTENS / COPPER BATTEN FLASHING, TYPICALLY.
- COPPER ROOF JACK FLASHING AT RISER PIPE, TYPICALLY, MATCH IN-KIND TO EXISTING. COORDINATE WITH COPPER ROOF FINISHES AND BATTENS, TYPICALLY.
- ROOF JACK FLASHING TO RISER PIPE AT EPDM MEMBRANE ROOF FINISH, TYPICALLY, MATCH IN-KIND TO (E)
- (E) PARAPET SUPPORT RODS AND ATTACHMENTS, FIELD COORDINATE WITH COPPER ROOF AND PARAPET WALL FINISHES, TYPICALLY.
- PROVIDE P.T. WOOD FRAMING & PLYWOOD CRICKETS AT DORMERS, TYPICALLY.

NOTICE

COMPLY WITH HOT WORK PERMIT REQUIREMENTS
 REFERENCE ALTERNATE #1 AND ALTERNATE #2

LEGEND

ITEM	DESCRIPTION		
	BATTEN (RIBBED) SEAM COPPER ROOFING		ROOF VENT
	COPPER FLASHING		EXHAUST FLUE
	EPDM ROOFING		STATUE LIGHT
	INTERNAL ROOF DRAIN		
	EMERGENCY OVERFLOW ROOF DRAIN THRU CORNICE		

16 CONSTRUCTION ROOF PLAN

A2.1 : A2.1



1/8" = 1'-0"

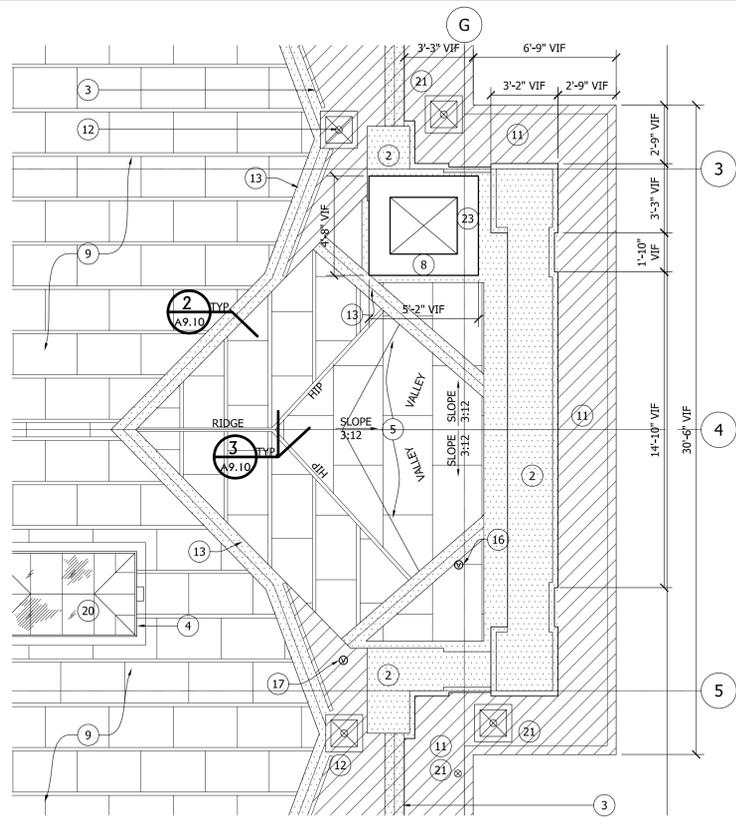


CONSTRUCTION ROOF PLAN
 CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
 BOARD OF COUNTY COMMISSIONERS
 CASCADE COUNTY COURTHOUSE ANNEX
 325 2ND AVE NORTH, ROOM 111, GREAT FALLS, MT 59401

PROJECT NO 14036
 ISSUE DATE 3.17.15
 REVISIONS 4.15.15
 10.16.15
 ADDENDUM #1 11.11.15

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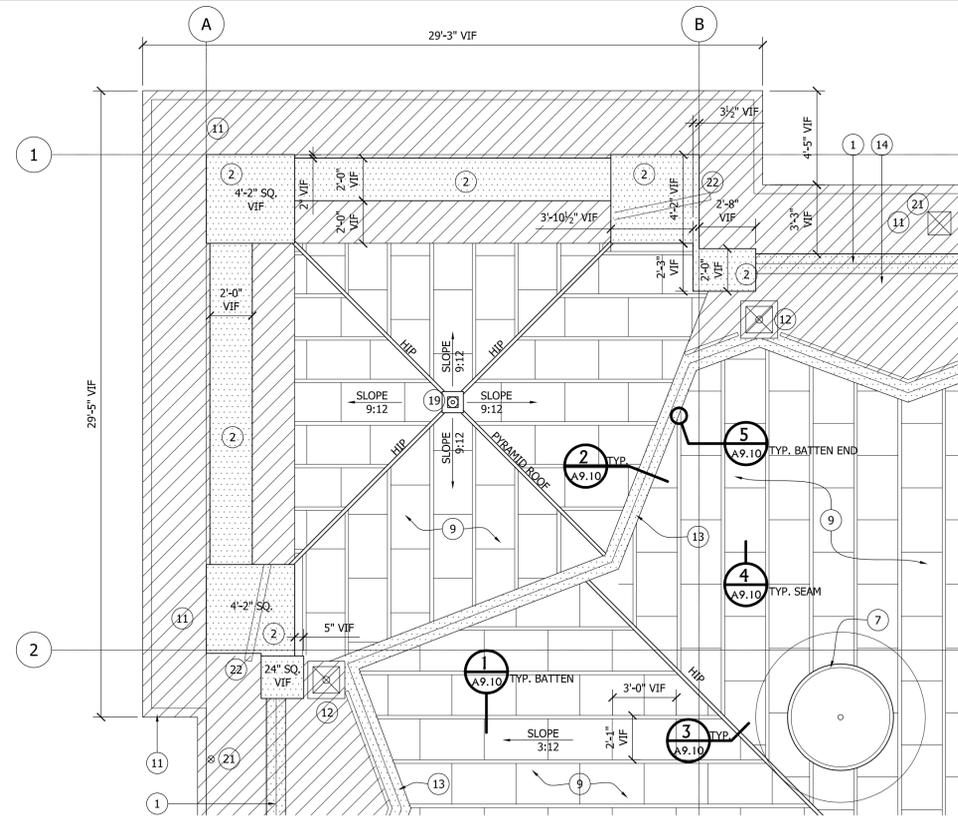
ADDENDUM #1
A2.1



7 CONSTRUCTION PLAN EAST DORMER (WEST SIM)

A2.1 : A3.1

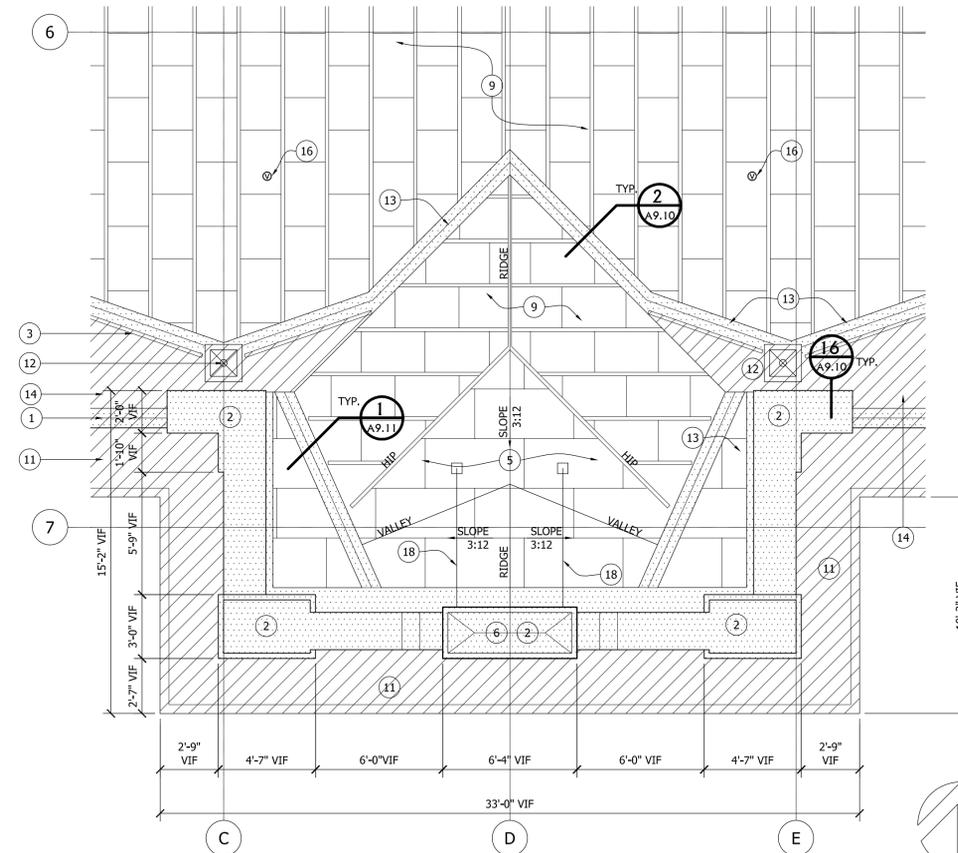
1/4" = 1'-0"



8 CONSTRUCTION PLAN PYRAMID ROOF - TYPICAL (4 LOCATIONS)

A2.1 : A3.1

1/4" = 1'-0"



18 CONSTRUCTION PLAN SOUTH DORMER (NORTH SIMILAR)

A2.1 : A3.1

1/4" = 1'-0"



GENERAL NOTES

- REMOVE (E) OR REPLACE WATER DAMAGED AND / OR DETERIORATED AND UNSOUND WOOD SHEATHING IN-KIND TO (E) SHEATHING TO PROVIDE SUITABLE SHEATHING FOR NEW FINISHES OR FINISHED APPEARANCE OF EXISTING ELEMENTS SCHEDULED TO REMAIN.
- NEW WORK SHALL MATCH (E) DETAIL AND / OR CONDITION 'IN-KIND' UNLESS NOTED OTHERWISE, TYPICALLY.
- ROOFING AND FLASHING TO BE COPPER UNLESS NOTED OTHERWISE, TYPICALLY.
- PROVIDE SELF-ADHERED ROOFING UNDERLAYMENT FOR HIGH TEMPERATURE APPLICATIONS UNDER COPPER FINISHES, TYPICALLY.
- REPLACE ALL CAULKING BETWEEN CAST IRON BALUSTRADE AND SANDSTONE DRUM AT THE DRUM PORTICO LEVEL, TYPICALLY.
- MAINTAIN (E) ROOF DRAINS AND OVERFLOW DRAINS, TYPICALLY.
- SHOP BUILD DECORATIVE COPPER DETAILS TO MATCH IN-KIND TO HISTORIC DETAIL, TYPICALLY. FIELD VERIFY CONDITIONS AND INSTALLATION TO NEW COPPER FINISHES.
- REINSTALL SALVAGED SOUND WOOD BATTENS, PROVIDE NEW P.T. WOOD BATTENS TO REPLACE DAMAGED AND OR DETERIORATED WOOD BATTENS, TYPICALLY.
- PREPARE (E) BUILT-IN GUTTER FOR NEW FULLY ADHERED EPDM MEMBRANE ROOF FINISH, TYPICALLY. COORDINATE WITH (E) GUTTER DRAIN AND OVER-FLOW DRAIN SCHEDULED TO REMAIN AND COPPER CORNICE SCHEDULED TO REMAIN.
- INSTALL COPPER PARAPET FINISHES TO ENCLOSE (E) ABANDONED SKY FACING CHIMNEY OPENINGS, TYPICALLY.
- REFER TO THE SPECIFICATION WHICH INDICATES EXTENTS OF (E) COPPER FINISHES TO BE USED AS A MEANS TO DEMONSTRATE IN-KIND REPLACEMENTS. COORDINATE QUESTIONABLE CONDITIONS W/ THE ARCHITECT.

KEYNOTES

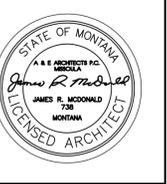
- | # | DESCRIPTION |
|----|--|
| 1 | COPPER BALUSTERS AT BALUSTRADE, TYPICALLY. COORDINATE WITH NEW COPPER FINISH TO TOP AND BOTTOM RAIL OF BALUSTRADE AND ADJACENT COPPER PARAPET WALL FINISH, TYPICALLY. |
| 2 | COPPER PARAPET WALL AND COPPER CAP FINISH, SLOPE CAP TO DRAIN TYPICALLY. |
| 3 | NEW AND/OR SALVAGED WOOD DIVERTERS (PROFILE AS BATTENS) COVER WITH FULLY ADHERED EPDM MEMBRANE AND COPPER ROOF UNDERLAYMENT, TYPICALLY. COVER WITH COPPER BATTEN FLASHING, TYPICALLY. |
| 4 | PROVIDE COPPER FLASHING AND COPPER WALL FINISH TO (E) SKYLIGHT, TYPICALLY. |
| 5 | SINGLE LOCK COPPER ROOF FINISH WITH SOLDERING FLAT SEAMS, TYPICALLY. |
| 6 | CUSTOM SHOP BUILT COPPER PARAPET DECORATIVE DETAIL TO MATCH IN-KIND TO EXISTING BLIND-SOLDER ALL SEAMS, TYPICALLY. COORDINATE INSTALLATION WITH EXISTING CONDITIONS AND NEW PARAPET COPPER CAP, TYPICALLY. |
| 7 | (E) ATTIC VENT. COORDINATE FLASHING WITH (N) COPPER ROOF FINISH AND WOOD BATTENS/COPPER BATTEN FLASHING, TYP. |
| 8 | (E) SANDSTONE CHIMNEY. COORDINATE NEW COPPER ROOFING, FLASHING, NEW PARAPET WALL AND CAP FINISHES, REPOINT SANDSTONE, TYPICALLY. |
| 9 | COPPER SEAM AND BATTEN ROOF FINISH TO MATCH IN-KIND TO EXISTING. INSTALL TO PREPARED SHEATHING, TYPICALLY. REUSE EXISTING SOUND WOOD BATTENS, PROVIDE NEW P.T. BATTENS AS REQUIRED, TYPICALLY. |
| 10 | COPPER ROOF DRAIN PIPE THRU-WALL, MATCH IN-KIND TO HISTORIC CONDITION, TYPICALLY. FIELD VERIFY CONDITIONS. |
| 11 | FULLY ADHERED EPDM MEMBRANE ROOF TO LINE (E) BUILT-IN COPPER GUTTER, TYPICALLY. FIELD COORDINATE WITH (E) BUILT-IN GUTTER DRAINS, OVERFLOW DRAINS AND NEW COPPER PARAPET WALL FINISH, TYPICALLY. |
| 12 | (E) ROOF DRAIN, COORDINATE WITH NEW WOOD BATTENS, MEMBRANE ROOF, AND COPPER ROOF FINISHES, TYPICALLY. |
| 13 | COPPER FLASHING, COORDINATE CONDITIONS WITH NEW COPPER ROOF FINISHES AND WOOD BATTENS, TYPICALLY. |
| 14 | FULLY ADHERED EPDM MEMBRANE AND UNDERLAYMENT, TYPICALLY. EXTEND MEMBRANE UNDER BOTTOM RAIL OF BALUSTRADE INTO BUILT-IN GUTTER AND EPDM MEMBRANE FINISHES TO BUILT-IN GUTTER, SEAM AS REQUIRED, TYPICALLY. |
| 15 | (E) ATTIC VENT, COORDINATE FLASHING WITH NEW COPPER ROOF FINISH AND WOOD BATTENS / COPPER BATTEN FLASHING, TYPICALLY. |
| 16 | COPPER ROOF JACK FLASHING AT RISER PIPE TYPICALLY, MATCH IN-KIND TO EXISTING COORDINATE WITH COPPER ROOF FINISHES AND BATTENS, TYPICALLY. |
| 17 | COPPER ROOF JACK FLASHING TO RISER PIPE AT EPDM MEMBRANE ROOF FINISH, TYPICALLY, MATCH IN-KIND TO EXISTING |
| 18 | (E) PARAPET SUPPORT RODS AND ATTACHMENTS, FIELD COORDINATE WITH COPPER ROOF AND PARAPET WALL FINISHES, TYPICALLY. |
| 19 | COPPER FINIAL, TYPICALLY AT HIP ROOF, MATCH IN-KIND TO EXISTING |
| 20 | GLAZED SKYLIGHT, WITH COPPER FLASHING AND COPPER WALL FINISH, TYP. |
| 21 | (E) BUILT-IN GUTTER DRAIN AND / OR OVERFLOW DRAIN - COORDINATE WITH EPDM MEMBRANE INSTALLATION - TYPICALLY. |
| 22 | COPPER OVERFLOW PIPE DRAIN, FIELD COORDINATE TO MATCH IN-KIND TO (E). |
| 23 | REPOINT ENTIRE SANDSTONE CHIMNEY. TREAT SANDSTONE SURFACES. |

NOTICE

COMPLY WITH HOT WORK PERMIT REQUIREMENTS
REFERENCE ALTERNATE #1 AND ALTERNATE #2

LEGEND

ITEM	DESCRIPTION	SYMBOL	DESCRIPTION
1	BATTEN (RIBBED) SEAM	▣	INTERNAL ROOF DRAIN
2	COPPER ROOFING	▣	EMERGENCY OVERFLOW ROOF DRAIN THRU CORNICE
3	COPPER FLASHING	•	ROOF VENT
4	EPDM ROOFING	•	



ENLARGED CONSTRUCTION DORMER & PYRAMID ROOF PLANS
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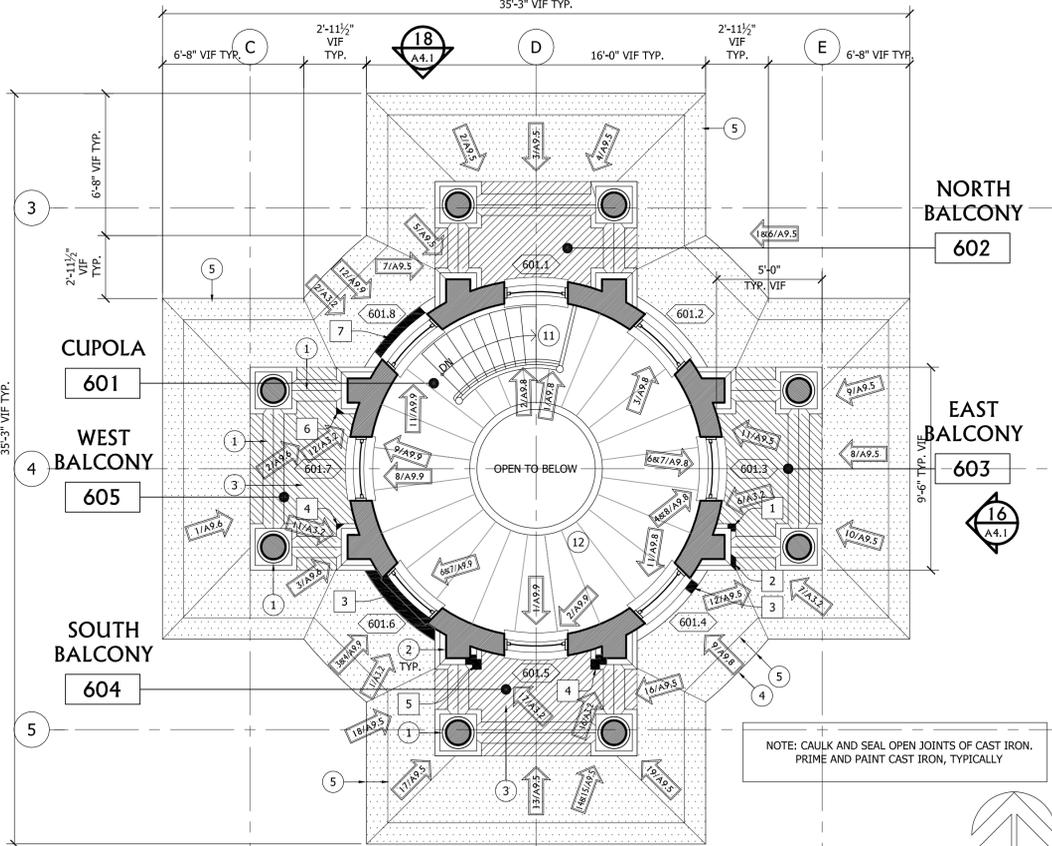
A3.1



1 SOUTHWEST WINDOW SILL
A3.2 : A3.2 PHOTOGRAPH



2 NORTHWEST WINDOW SILL
A3.2 : A3.2 PHOTOGRAPH



8 CONSTRUCTION PLAN BALCONY AT DOME
A2.1 : A3.2

BALCONY/DOME GENERAL NOTES

1. REMOVE & REPLACE DAMAGED AND/OR DETERIORATED WOOD SHEATHING, WITH NEW P.T. WOOD SHEATHING MATCHING EXISTING CONDITIONS, TYP. WOOD SHEATHING MATERIALS VARY BY LOCATION, TYP.
2. NEW WORK SHALL MATCH (E) CONDITIONS 'IN-KIND' UNLESS NOTED OTHERWISE, TYPICALLY.
3. ALL SHEET METAL ROOFING AND FLASHING SHALL BE COPPER UNLESS NOTED OTHERWISE, TYPICALLY.
4. PROVIDE SELF-ADHERED ROOFING UNDERLAYMENT FOR HIGH TEMPERATURE APPLICATIONS UNDER COPPER FINISHES, TYPICALLY.
5. REPLACE SEALANT AT CAST IRON DETAILS, TYPICALLY, PRIME AND PAINT CAST IRON.

BALCONY SANDSTONE REPAIR

1	SANDSTONE REPAIR, MATCH IN-KIND HISTORIC MISSING DETAIL.
2	SANDSTONE CRACK, REPAIR AND STONE PATCH AT BALUSTRADE TO CAST IRON, MATCH IN-KIND TO HISTORIC DETAIL.
3	SANDSTONE SILL PATCH REPAIR, MATCH TO ADJACENT SOUND SANDSTONE DETAIL.
4	PROVIDE SANDSTONE PATCH TO RECREATE MISSING DETAIL TO MATCH IN-KIND TO EXISTING.
5	SANDSTONE REPAIR AND PATCH AT CRACKED & DELAMINATING SANDSTONE DETAIL, MATCH IN-KIND TO HISTORIC DETAIL.
6	PATCH SANDSTONE BASE, MATCH IN-KIND TO HISTORIC DETAIL.
7	SANDSTONE REPAIR - REPAIR CRACK IN SANDSTONE SILL.



6 EAST BALCONY SOUTH COLUMN
A3.2 : A3.2 PHOTOGRAPH



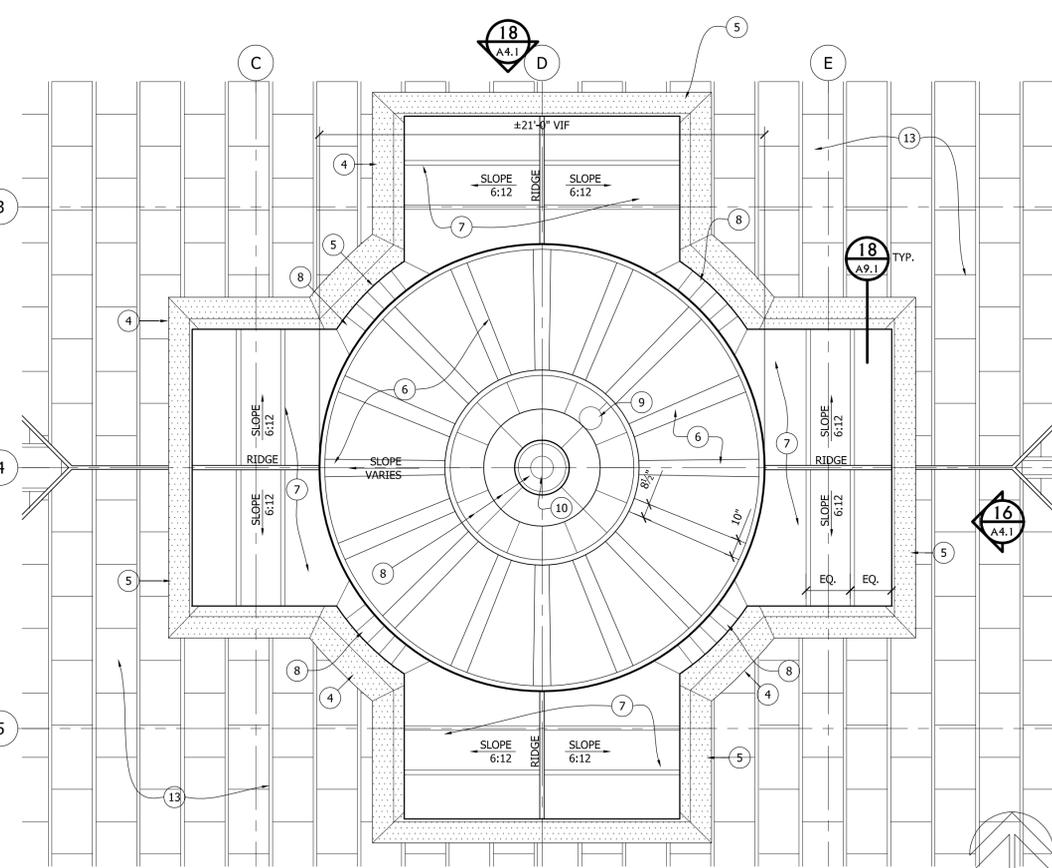
7 EAST BALCONY SOUTH COLUMN
A3.2 : A3.2 PHOTOGRAPH



11 WEST BALCONY SOUTH COLUMN
A3.2 : A3.2 PHOTOGRAPH



12 WEST BALCONY STONE REPAIR
A3.2 : A3.2 PHOTOGRAPH



18 CONSTRUCTION PLAN DOME ROOF
A2.1 : A3.2

BALCONY/DOME KEYNOTES

- 1 (E) CAST IRON BALUSTRADE & COLUMNS REPAIR AS REQD, SEAL JOINTS, AND PRIME AND REPAINT, TYP.
- 2 (E) SANDSTONE DRUM, TYP.
- HATCH INDICATES EPDM MEMBRANE ROOF AT BALCONIES, ADHERE MEMBRANE TO CAST IRON AND USE VERTICAL TERMINATION REGLET AT SANDSTONE WALL - SEE DETAIL 6/A9.10
- 1-1/2" X 1-6" COPPER WALL SHINGLES, MATCH IN-KIND TO EXISTING, TYP. - SEE ELEVATION SHEET A4.1 & DETAIL 18/A9.10
- HATCH INDICATES COPPER SCROLLS BELOW, MATCH IN-KIND TO EXISTING, TYP. - SEE DETAIL 7/A9.10
- BATTEN SEAM COPPER DOME ROOF (16 BATTENS), MATCH IN-KIND TO EXISTING, REUSE SALVAGED SOUND WOOD BATTEN, TYP. - SEE DETAILS 1-5/A9.10
- BATTEN SEAM PORTICO COPPER ROOF (BATTENS EQUALLY SPACED), MATCH IN-KIND TO EXISTING, REUSE SALVAGED SOUND WOOD BATTEN, TYP.
- SINGLE LOCK W/ SOLDERING FLAT SEAM COPPER ROOF FINISH, MATCH IN-KIND TO EXISTING, TYP.
- COPPER DOME ACCESS, MATCH IN-KIND TO EXISTING.
- "LADY JUSTICE" TO REMAIN FIELD, COORD. W/ NEW COPPER DOME FINISH AND DETAILS.
- INTERIOR STAIR AND HANDRAIL, NO WORK, PROTECT.
- PRIME AND PAINT INTERIOR AND EXTERIOR OF (E) WINDOW FRAMES, STOOLS AND TRIM, TYP.
- COPPER HIP ROOF W/ COPPER FINISHED WOOD BATTENS, MATCH IN-KIND TO EXISTING CONDITIONS.

NOTICE
COMPLY WITH HOT WORK PERMIT REQUIREMENTS
REFERENCE ALTERNATE #1 AND ALTERNATE #2

LEGEND

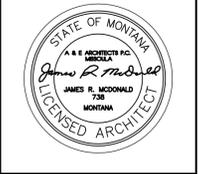
ITEM	DESCRIPTION
(Symbol)	BATTEN (RIBBED) SEAM COPPER ROOFING
(Symbol)	COPPER FLASHING
(Symbol)	EPDM ROOFING



16 SOUTH BALCONY EAST COLUMN
A3.2 : A3.2 PHOTOGRAPH



17 SOUTH BALCONY WEST COLUMN
A3.2 : A3.2 PHOTOGRAPH



ENLARGED CONSTRUCTION DOME & BALCONY PLANS & PHOTOGRAPHS
CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT
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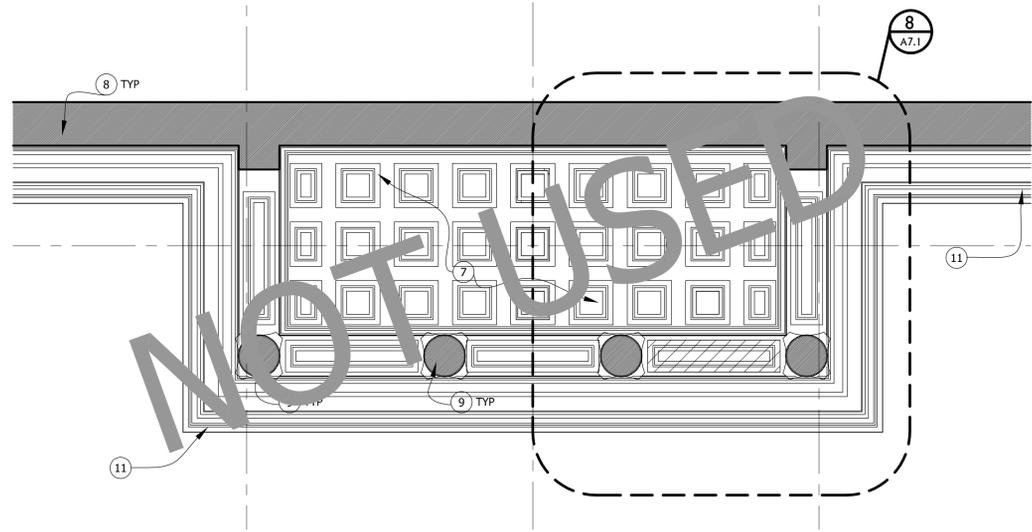
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ADDENDUM #1
A3.2



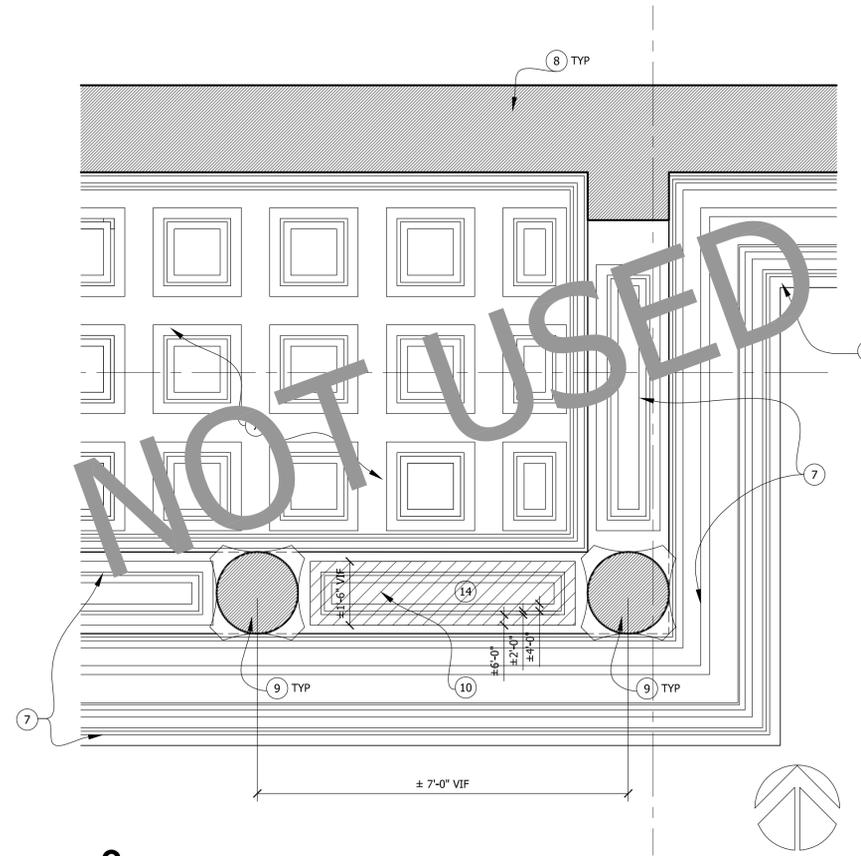
6 REFLECTED CEILING PLAN: SOUTH ENTRANCE

A7.1 : A7.1



NORTH

1/4" = 1'



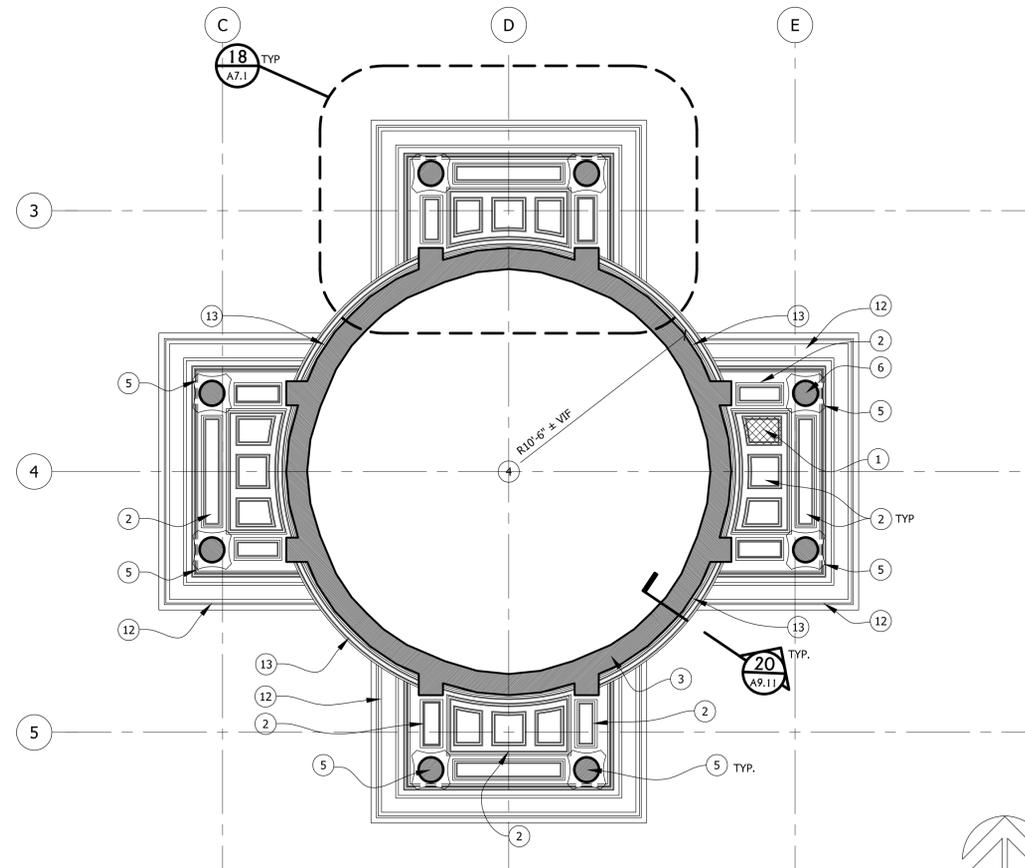
8 DETAIL: SOUTH ENTRANCE RCP

A7.1 : A7.1



NORTH

1/4" = 1'



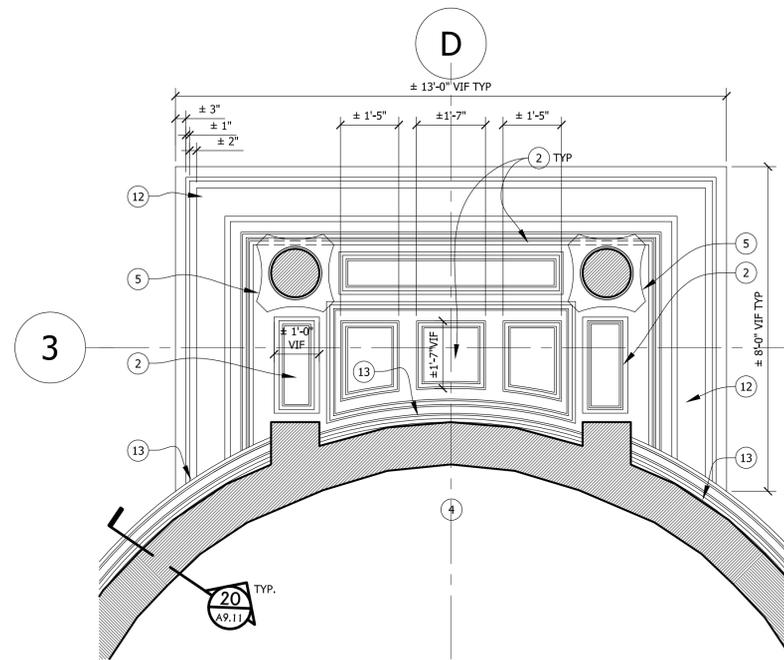
16 REFLECTED CEILING PLAN: DOME PORTICO

A4.1 : A7.1



NORTH

1/4" = 1'



18 TYPICAL DETAIL: DOME PORTICO RCP

A7.1 : A7.1



NORTH

1/2" = 1'

CONSTRUCTION GENERAL NOTES

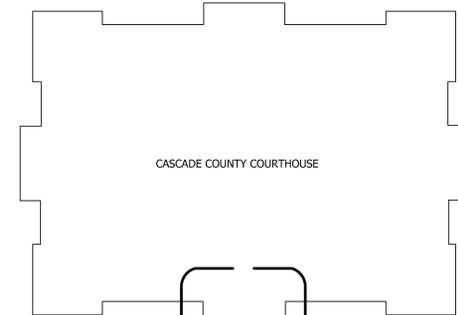
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2. NEW WORK SHALL MATCH (E) CONDITIONS 'IN-KIND' UNLESS NOTED OTHERWISE.
3. ALL SHEET METAL ROOFING AND FLASHING TO BE COPPER UNLESS NOTED OTHERWISE, TYPICALLY
4. PROVIDE SELF-ADHERED ROOFING UNDERLAYMENT FOR HIGH TEMPERATURE APPLICATIONS UNDER COPPER ROOF FINISHES, TYPICALLY
5. PREPARE, PRIME AND REPAINT CAST IRON FINISHES AT DOME, TYPICALLY

CONSTRUCTION KEYNOTES

1	HATCH INDICATES DOME ACCESS LOCATION AND REMOVABLE COPPER CEILING PANEL AT THIS LOCATION. COORDINATE WITH NEW COPPER FINISH.
2	COFFERED COPPER CEILING PANELS TO MATCH IN-KIND TO EXISTING, TYP.
3	(E) DOME BASE AND SANDSTONE
4	(E) DOME ATTIC
5	CAST IRON COLUMNS W/ NEW MORTAR-FILLED CAST IRON CORINTHIAN COLUMN CAPITALS, TYP.
6	(E) MISSING CAST IRON CORINTHIAN COLUMN DETAIL. REPAIR TO MATCH (E) ADJACENT, IN-KIND.
7	(E) COPPER COFFERED CEILING FINISH AT SOUTH ENTRY TO REMAIN, NO WORK.
8	(E) EXTERIOR SANDSTONE ENVELOPE.
9	(E) COLUMN AND CORINTHIAN CAPITAL - NO WORK.
10	HATCH INDICATES EXTENTS OF REPAIRED AND REINSTALLED COPPER COFFERED CEILING PANEL AT SOUTH ENTRY.
11	UNDERSIDE OF (E) COPPER CORNICE AND BUILT-IN GUTTER, NO WORK
12	UNDERSIDE OF COPPER HORIZONTAL CORNICE, NEW COPPER FINISHES TO MATCH IN-KIND TO (E), TYPICALLY
13	COPPER ARCHITRAVE AT BASE OF DOME, NEW COPPER FINISHES TO MATCH IN-KIND TO (E)
14	REMOVE (E) COPPER CEILING PANEL, EXPOSE FRAMING, CLEAN TO REMOVE DEBRIS, REMOVED DAMAGED AND DETERIORATED WOOD BLOCKING AND SHEATHING W/ NEW P.T. WOOD BLOCKING & SHEATHING MATCHING IN-KIND TO (E). REINSTALL SALVAGED COPPER CEILING PANEL LAND DETAIL TO MATCH ADJACENT SOUND COPPER PANELS.

NOTICE

COMPLY WITH HOT WORK PERMIT REQUIREMENTS
REFERENCE ALTERNATE #1 AND ALTERNATE #2



19 REFERENCE PLAN

NOT TO SCALE



CONSTRUCTION REFLECTED CEILING PLAN: DOME PORTICO AND SOUTH ENTRY

CASCADE COUNTY COURTHOUSE, COPPER ROOF REPLACEMENT

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A7.1