

REQUEST FOR QUALIFICATIONS
Architectural Services
Cascade County Offices

Cascade County has completed a Preliminary Architectural Report for the preliminary planning and feasibility of a remodel of the Cascade County Aging Services, 1800 Benefis Court, Great Falls, Montana, 59405, in December of 2015. The County is now soliciting Requests for Qualifications to complete the construction documents, construction administration, and final close out of the project remodel.

The contract is being administered by Cascade County Public Works Director. The Owner invites interested parties to submit a Qualification Package to:

Public Works Director
Cascade County
121 4th Street North
Great Falls, MT 59401
Phone: (406) 454-6905
Email: bclifton@cascadecountymt.gov

Copies of the complete PAR along with the RFQ may be obtained by contacting the Public Works Director. Pre-proposal inspection of site is scheduled for 9:00 am, February 11, 2016. Qualification closing date is February 19, 2016.

Cascade County is an equal opportunity employer. Minorities and women are encouraged to apply and submit Qualifications.

//S// Brian K. Clifton, Director
Cascade County Public Works

Publish
Sunday January 31, 2016
Sunday February 7, 2016

Request for Qualifications for Architectural Services Cascade County Aging Services, Great Falls Montana

The services to be provided will include:

- designing interior building elements / hvac / structural improvements and construction administration, as described in the Preliminary Architectural Report, as attached.
- preparing the construction bid package in conformance with applicable state and county requirements and supervising the bid advertising, tabulation, and award process, including preparing the advertisements for bid solicitation, conducting the bid opening, and issuing the notice to proceed;
- conducting the pre-construction conference;
- field staking, on-site supervising of construction work, and preparing inspection reports;
- reviewing and approving all contractor requests for payment and submitting approved requests to the governing body;
- providing reproducible plan drawings to the County upon project completion;
- conducting final inspection and testing;
- preparing an operation and maintenance manual.

Responses should include:

1. the firm's legal name, address, and telephone number;
2. the principal(s) of the firm and their experience and qualifications;
3. the experience and qualifications of the staff to be assigned to project;
4. a description of the firm's prior experience, including any similar projects, size of community, location, total construction cost, and name of a local official knowledgeable regarding the firm's performance;
5. a description of the firm's current work activities and how these would be coordinated with the project, as well as the firm's anticipated availability during the term of the project; and
6. the proposed work plan and schedule for activities to be performed.

Respondents will be evaluated according to the following factors:

- | | | |
|----|--|-----|
| 1. | the qualifications of the professional personnel to be assigned to the project | 20% |
| 2. | the consultant's capability to meet time and project budget requirements | 25% |
| 3. | location | 10% |
| 4. | present and projected workloads | 10% |
| 5. | related experience on similar projects | 10% |
| 6. | recent and current work for the entity issuing the RFQ | 25% |

The selection of finalists to be interviewed will be based on an evaluation of the written responses. The award will be made to the most qualified offeror whose proposal is deemed most advantageous to the County, all factors considered. Unsuccessful offerors will be notified as soon as possible. Cascade County reserves the right to forgo interviews and select from proposals if desired.

Questions and responses should be directed to Public Works Director, Cascade County, 121 4th Street North, Great Falls, MT 59401. All responses must be postmarked no later than 2 p.m., February 19, 2016. Please state "Cascade County Aging Services Architectural Services Proposal" on the outside of the response package.

Respondents may review the PAR which includes a description of the proposed project including activities, budget, schedule, and other pertinent information by visiting the County Offices, during regular office hours. A copy of the application is also available by email, if requested.

This solicitation is being offered in accordance with federal and state statutes governing procurement of professional services. Accordingly, the Cascade County Commissioners reserve the right to negotiate an agreement based on fair and reasonable compensation for the scope of work and services proposed, as well as the right to reject any and all responses deemed unqualified, unsatisfactory or inappropriate.

Cascade County Aging Services

PRELIMINARY ARCHITECTURAL REPORT
December 21, 2015



Office Remodel

1801 Benefis Court, Great Falls, MT 59405

NELSON ARCHITECTS

621 2nd Ave North

GREAT FALLS, MONTANA

Nelson architects



1
CONSTRUCTION COST & SCHEDULE

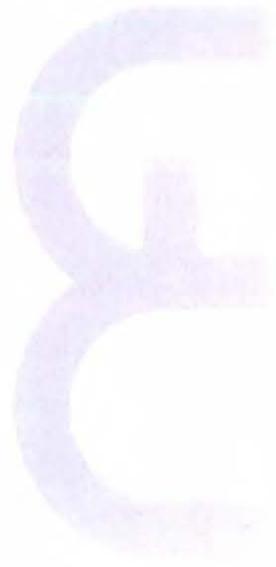
2
CONCEPT PLANS
EXISTING PLANS
PROPOSED PLANS

3
ARCHITECTURAL
DESIGN CRITERIA, FINDINGS
CODE REVIEW AND ISSUES

4
COST ESTIMATE / WORK SHEETS

5
DOCUMENTATION
PHOTOS

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ARCHITECTURAL / ENGINEERING STUDY

Cascade County Aging Services 2015

OBJECTIVE

The purpose of this effort is to provide a list of facility needs with an associated cost for these upgrades / renovations, and to phase the project to coordinate with needs and project funding needs.

The existing Cascade County building will be renovated and interior floor space will be filled in. The Meals on Wheels kitchen and offices function will be moved into the lower level, south end of the building.

The newly acquired 2,200 square feet from the floor infill will be built out for 12 additional offices, an extra conference room, file storage room, and a small open meeting area.

The proposed location has a large parking lot, and is a structurally sound building, but needs architectural, mechanical, electrical, and some minor structural upgrades to be able to house these new offices and the commercial kitchen. The existing electrical is sized appropriately to allow this new commercial kitchen load.

The new renovations will focus on providing area for commercial kitchen, new office space for additional personnel, a new area to combine existing functions into existing County owned building, as well as a new energy efficient building with low operational costs. Day lighting will be utilized in all spaces for energy efficiency as well as occupant ease of use and comfort. Energy efficient HVAC units, hot water heaters, and low water usage appliances will be utilized. High R values will be put in place to further increase the efficiency of the existing envelope, where it can be easily installed as part of this renovation.

Nelson Architects
621 2nd Ave North
Great Falls Montana 59401

Respectfully submitted,

Dale Nelson

Dale Nelson, LEED AP, NCARB, AIA

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The entire project will be designed and a permit for entire project will be applied for as one package. The phasing will just be for the actual construction sequencing for the general contractor and the subs.

Phase 1 - Lift

1. Relocate existing lift to new location
 - Provide new floor opening
 - New power at new location
 - Demo partial radius area of existing reception counter
 - Relocate lift

Phase 2 - New floor infill area, while maintaining access and code required exits to the existing building.

- Floor infill over south end / new commercial kitchen area.
- Floor infill area over existing waiting / reception area.

Phase 3

- Build out offices in two new upstairs areas to relocate center downstairs office people to
- Build out new conference room
- Build out new reception area

Phase 4

- Relocate reception to new location
- Demo existing break room, Office 112, Reception, and Storage 114
- Build out new break room and commercial kitchen.
- Create new Mechanical room in Garage 100
- Redo door 100 B going from Garage 100 into the downstairs NE office suite.

Phase 5

- Demo and build out upstairs offices on North end

Mechanical will be the difficult part to remodel / repair while keeping the building occupied. Certain new systems will have to be brought online during Phase 3 to 5, and then existing will have to be decommissioned during the last portion of Phase 5.

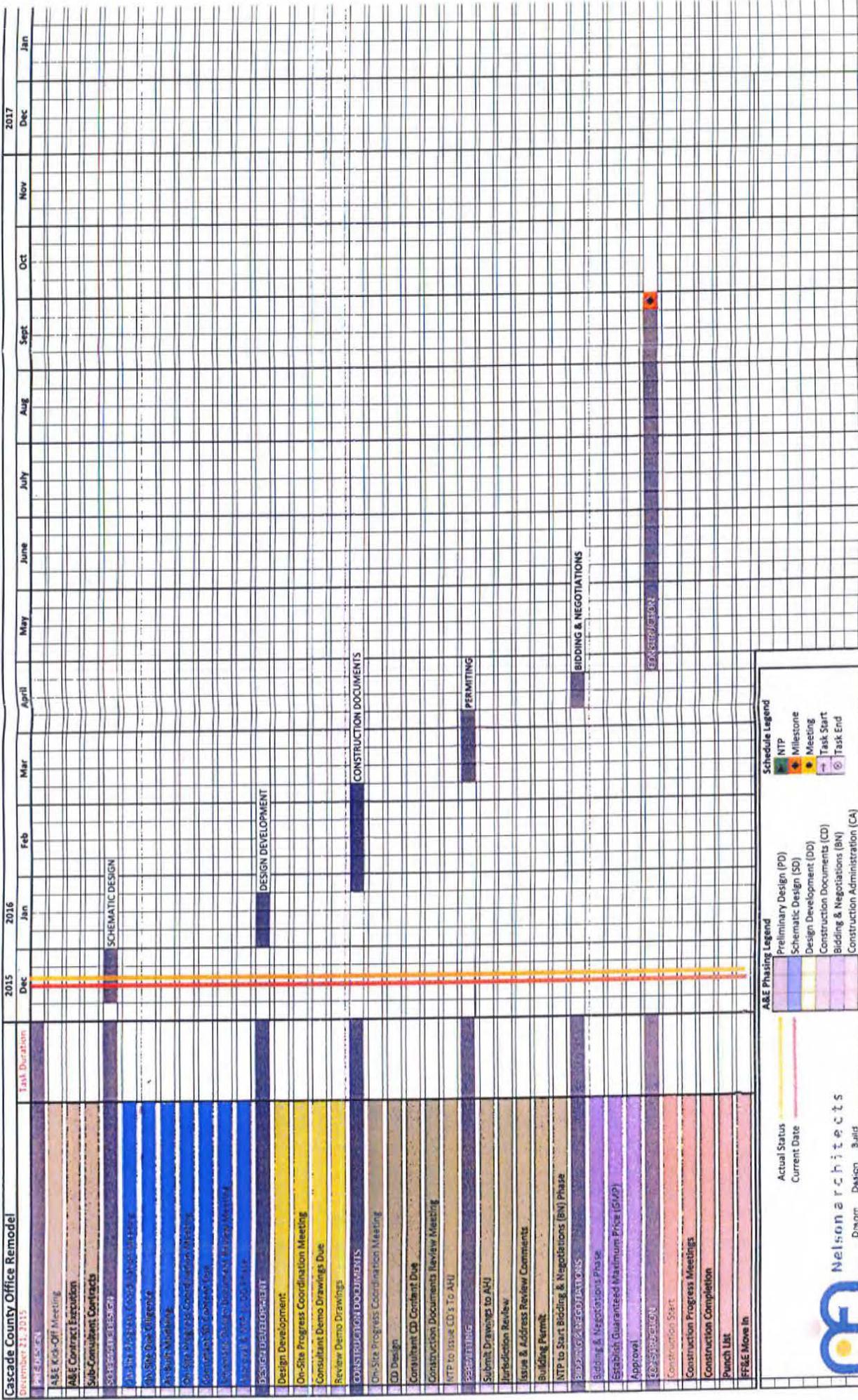
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CONSTRUCTION COST & SCHEDULE



Cascade County Office Remodel

December 21, 2015



A&E Phasing Legend

- Preliminary Design (PD)
- Schematic Design (SD)
- Design Development (DD)
- Construction Documents (CD)
- Bidding & Negotiations (BN)
- Construction Administration (CA)

Schedule Legend

- NTP
- Milestone
- Meeting
- Task Start
- Task End

Actual Status
Current Date

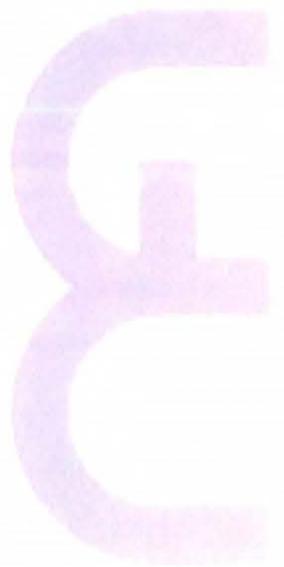
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2

CONCEPT PLANS

EXISTING PLANS

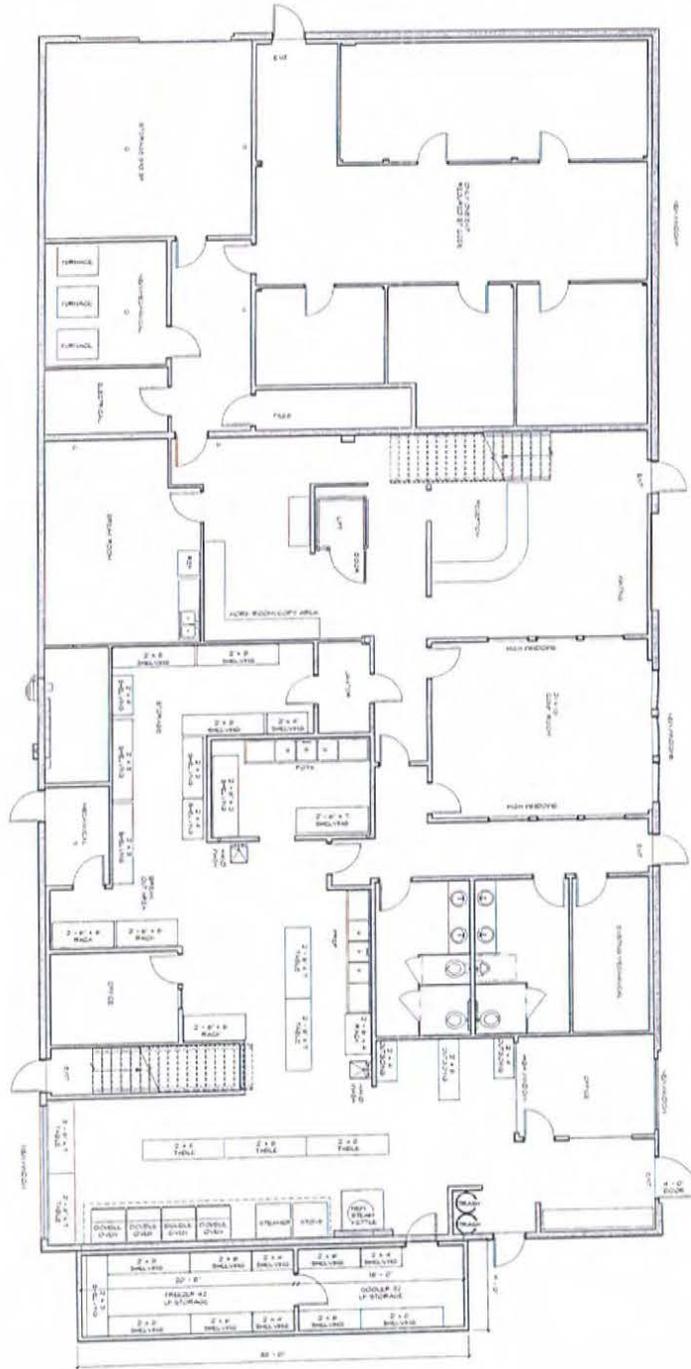
PROPOSED PLANS



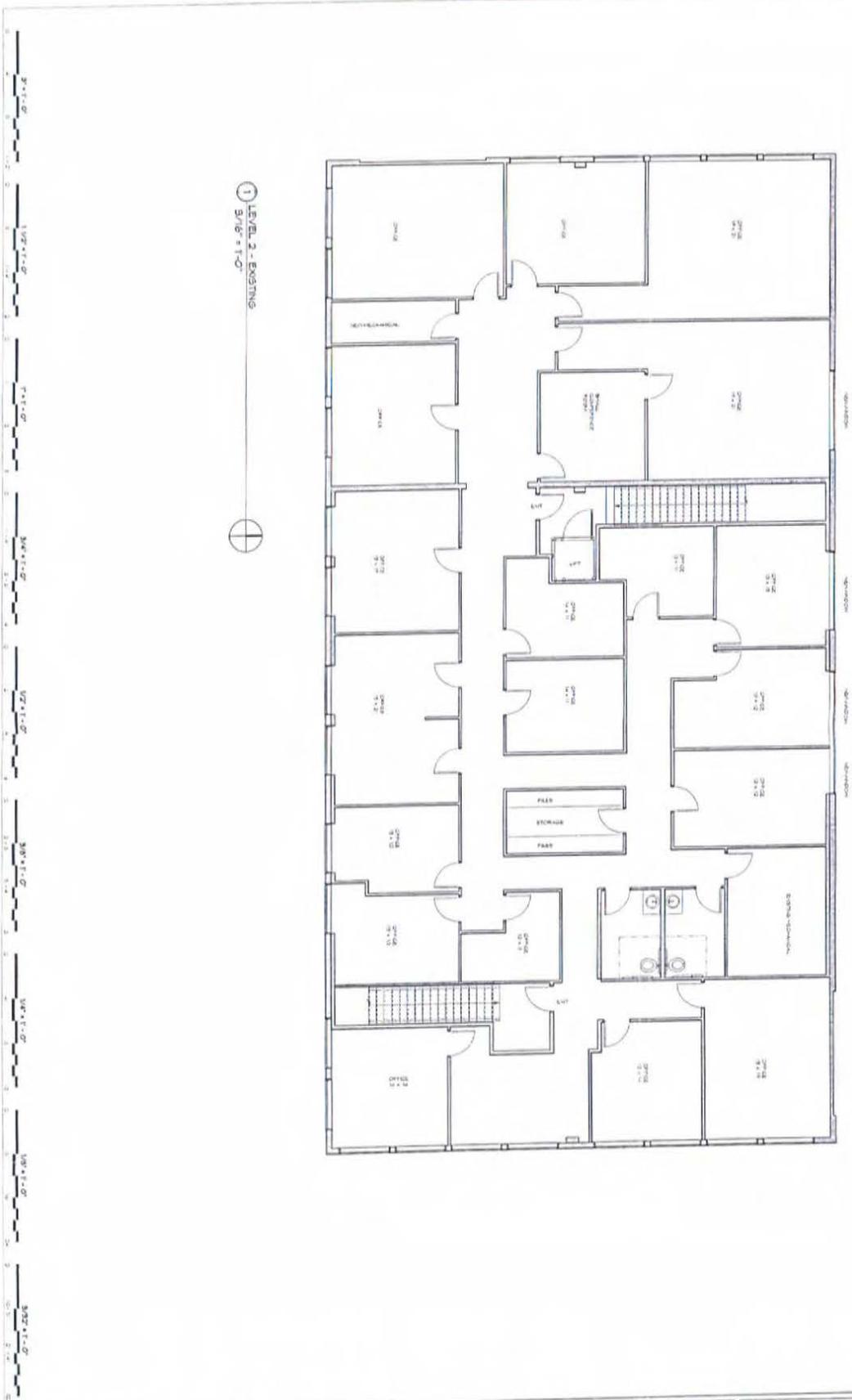
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Design Studio

① LEVEL - EXISTING
 3/16" = 1'-0"



A1.1	FIRST FLOOR PLAN - REMODEL	CASCADE COUNTY MEALS ON WHEELS REMODEL	Nelson architects Dream • Design • Build
	PROJECT NO. 2018-001 DATE 12/11/18 DRAWN BY JCB CHECKED BY JCB		521 2nd Avenue North • Great Falls, MT 59401 406.727.3286 NelsonArchitects.com



① LEVEL 2 - EXISTING
SCALE = 1/8" = 1'-0"

A1.2

SECOND FLOOR PLAN - REMODEL	
DATE	12-15-18
DESIGNED BY	DAVID L. NELSON
DRAWN BY	DAVID L. NELSON
CHECKED BY	DAVID L. NELSON
PROJECT NO.	18-001
CLIENT	CASCADE COUNTY MEALS ON WHEELS
LOCATION	1000 1/2 AVENUE NORTH, GREAT FALLS, MT 59401
SCALE	AS SHOWN

CASCADE COUNTY MEALS ON WHEELS REMODEL

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12-15-18
2	ISSUED FOR CONSTRUCTION	12-15-18

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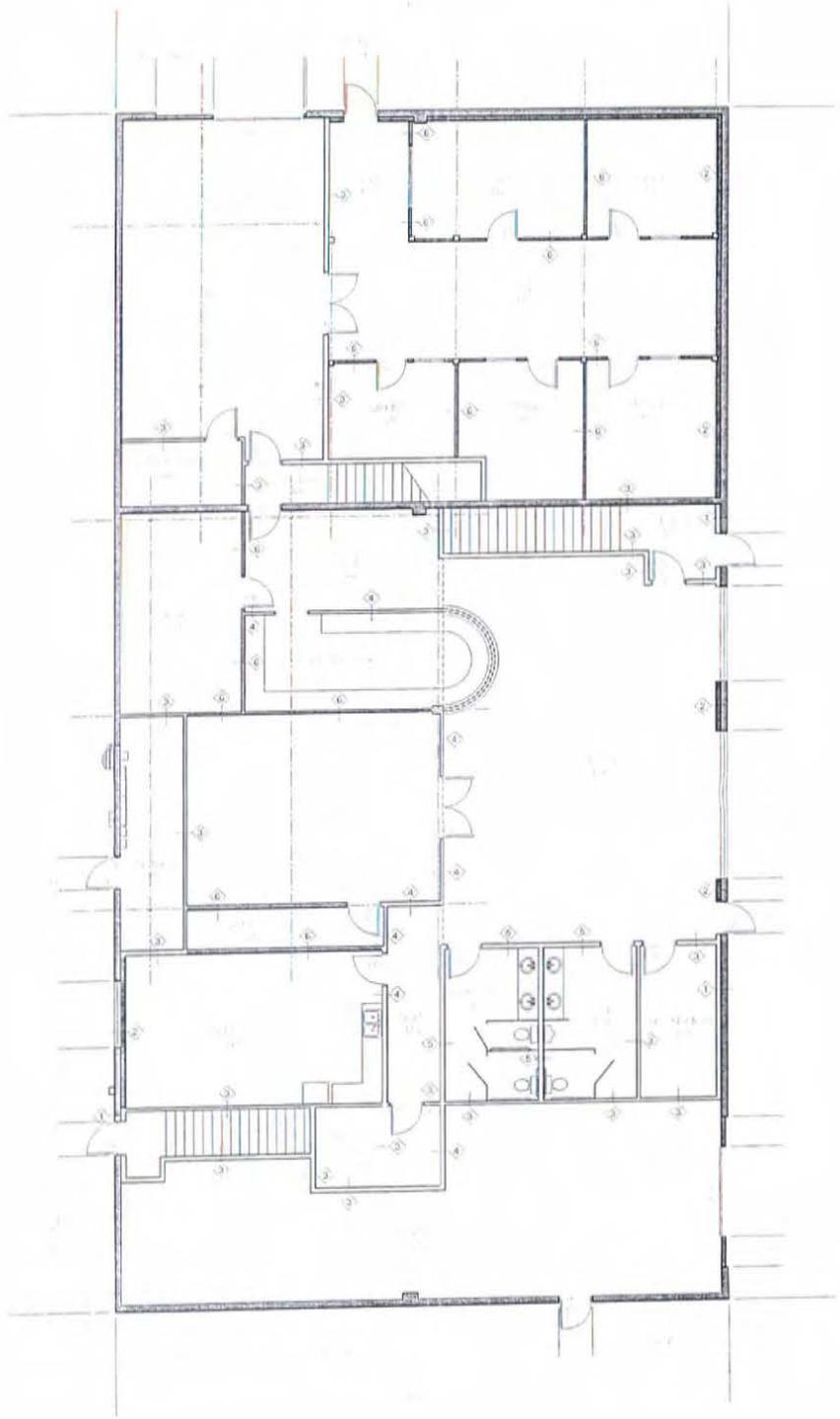
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1 LEVEL 1 - DEMOLITION PLAN
3/16" = 1'-0"

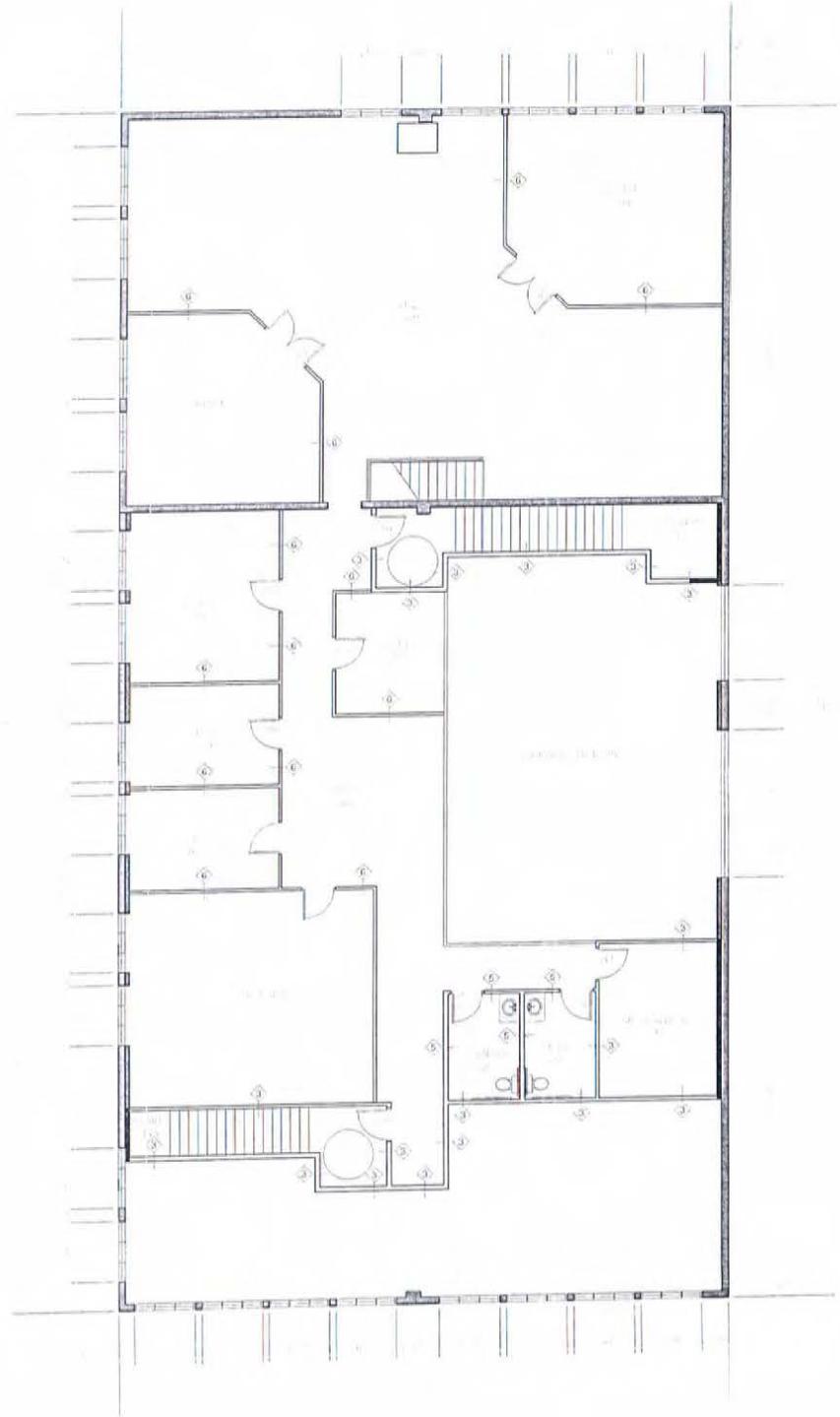


2 EXISTING WALL TYPES LEGEND
3/16" = 1'-0"



D1.1	FIRST FLOOR PLAN - DEMOLITION	CASCADE COUNTY MEALS ON WHEELS REMODEL	Nelson architects Dream • Design • Build 621 2nd Avenue North • Great Falls, MT 59401 406.727.3286 NelsonArchitects.com
	PROJECT NO. _____ SHEET NO. _____ DATE _____ DRAWN BY _____ CHECKED BY _____ PROJECT LOCATION _____ PROJECT DESCRIPTION _____	DESIGNER _____ ARCHITECT _____ ENGINEER _____ CONTRACTOR _____ PERMIT NO. _____ DEMOLITION NO. _____	

① LEVEL 2 - DEMOLITION PLAN
3/16" = 1'-0"



D1.2

SECOND FLOOR
PLAN DEMOLITION

DATE	BY	DESCRIPTION
12-11-18	PKC	PKC
12-11-18	GEN	GEN

NO. OF SHEETS	12
TOTAL SHEETS	12

CASCADE COUNTY MEALS ON WHEELS REMODEL

PROJECT NO.	18-001
DATE	12-11-18
BY	PKC
CHECKED BY	GEN

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3
ARCHITECTURAL
DESIGN CRITERIA, FINDINGS
CODE REVIEW AND ISSUES



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Meeting Notes/Design Criteria

Project: Cascade County Office Building / Meals on Wheels

Date: November 2015

Scope of Work:

To evaluate the existing Cascade County facility for up-grade and remodel needs to meet code and proposed use:

- Provide additional office space for County Staff
- Provide potential interagency office space
- Provide a Meals on Wheels area with a kitchen and storage (approximately 3,000 sf)

Systems:

Heating and cooling system – All new system needed.

Security System: None at present-will discuss needs further

Emergency System: None at present – mechanical to address

Communications: Old telephone board, will need new multi line system

TV -None at present except in break room?– possibly need cable to building

Spaces:

Toilets: Shared toilets in a central location are adequate and meet code.. Separate Unisex toilet for kitchen staff may be utilized if space allows

Conference Room: Shared conference room adjacent to shared toilets desired.

Kitchen: Commercial grade kitchen to utilize existing Meals on Wheels kitchen equipment. Will reuse hoods if can make them work per code

Office Space: Need 7-8 additional offices with storage, conference room, waiting area, reception.

Existing building issues known at this time:

- No fire sprinkler system - new construction will not need one, but rated walls and stairways may be needed per code, depending on new layout
- Existing walls furred out on inside with 2x4, and have 1 inch white bead board insulation with very low R value.
- HVAC system ductwork is not adequate. Some of the existing units can be reused. Will need to supplement with new units.

FINDINGS

Evaluate condition of existing facilities.

Present Condition

The building is structurally sound, and has a good floor slab with minimal visible cracks. Existing flooring is in fairly good shape. The exterior of the front facade is corrugated metal, EIFS, and CMU, which are all in good condition. Existing exterior walls are bearing walls, with an intermediate column grid on the interior of the building supporting interior floor loading only. All structural elements are sound and in good repair. All electrical, plumbing, water supply, and electrical supply are in good repair. The HVAC has severe limitations due to an improper installation, and poor zoning, and will have to be reworked to fit the new layout.

The building is well suited for the new functions as shown in the preliminary plans.

FINDINGS:

Fire Sprinkler System and Fire Alarm System: There is currently no fire suppression or alarm system in the facility.

Review occupancy classification, and apply all required life safety required items. This will NOT require a fire sprinkler system. Both options will be evaluated for function and cost implications, building longevity, and insurance costs.

Roof: The roof is in good condition and no plans to replace. Repair as needed for new penetrations.

Ceiling: The existing 2x4 tile ceiling is in good repair in most spaces, but will need to be removed to allow for new configuration.

New insulation, vapor barrier, and 5/8" Type "X" sheetrock should be placed on bottom of roof joists, in places where there is none at this time.

Exterior Walls & Insulation: The parameter walls currently vary in insulation and furring. The insulation value of the exterior wall assembly is approximately R-11 where it is furred out. This proposal recommends adding insulation using new R-8 loose fill in the wall cavity where existing framing will allow. New framing should have R-11 batts.

Windows: The window assemblies appear to be in good repair, and no work is anticipated on existing windows.

The proposed new window assembly will be thermal rated low "E" glass with an energy coefficient of .3 or more will result in a minimal energy efficiency improvement, but will meet the codes for new windows.

Structural: Analysis finds gravity load distribution to foundation to be adequate for snow load in Great Falls, Montana. Visual analysis finds lateral load distribution adequate as built, but will be examined in depth in reference to new penetrations of exterior structural walls.

Heating/Cooling system is a natural gas heating and electric cooling system of furnace units, that is only partially functioning. System efficiencies are questionable, as addressed in the mechanical findings of this report. The systems are beyond salvage, in the current condition.

Accessibility. The building appears to fully meet ADA for all portions of the building. Any new construction will also meet ADA Codes.

Electrical System: The current electrical service is adequate for new proposed use.

Recommendation is to provide all upgraded LED lights, which is included in the base costs.

Plumbing: The domestic hot and cold water, along with the sewer, are original to building and seem to be working fine.

Ventilation: Ventilation is not existent in current configuration, and the new units will supply required ventilation, make up air per code.

Hazardous Materials: A materials and sampling evaluation has not been performed and will need to be done before any demolition is to take place.

Code Issues: There are no obvious code issues at this time.



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**Cascade County
Great Falls, Montana
2012 IBC Code Review**

December 14, 2015

General Project Description

The project is an existing office building with 7,200 SF ground floor and 5,000 SF upstairs floor. The addition is infilling the existing 2,200 SF clearstory area for a total of 7,200 SF ground, and 7,200 upstairs. The project was reviewed by the Architect, with the 2012 International Building Code (IBC) as follows:

(Note: S – refers to the IBC Section, T - refers to the IBC Table.)

Chapter 3 – Use and Occupancy Classification:

OCCUPANCY: Group B Business

S. 303.1.2 **SMALL ASSEMBLY SPACES:** A room or space used for assembly spaces with an occupant load of less than 50 persons or is less than 750 SF in area and accessory to another occupancy shall be classified as Group B occupancy.

S. 304.1 **GROUP B Office**

Chapter 4 – Detailed Occupancy Requirements:

S. 401 N/A

Chapter 5 – General Building Heights and Areas

Main Floor = 7,200 SF
Second Floor = 5,000 + 2,200 SF

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T. 503 **ALLOWABLE BUILDING HEIGHTS AND AREAS:** Based on **Type V-B** construction:

Occupancy	Allowable Height	Allowable Height Increases	Basic Allowable Area
B	2 (40 ft)	NA	9,000 SF

S. 508.2.4 **Separation of occupancies.** No separation needed.

Chapter 6 – Types of Construction

S. 602.3 Actual construction type as allowed in Chapter 5 is **Type V-B**.

S. 602.5 **Type V-B construction:** That type of construction in which the structural elements, exterior walls, and interior walls are of any material.

T. 601 All building elements listed on T.601 have a required fire-resistive rating of **0**.

T. 602 The fire separation distance of the building requires all exterior walls to have a fire resistance rating of **0**.

Chapter 7 – Fire-Resistance Rated Construction

S. 705.5 **FIRE RESISTANCE RATINGS:** According to Tables 601 and 602 the exterior walls require a fire resistance rating of **0**.

S. 711 **HORIZONTAL ASSEMBLIES:** No rating required per construction type.

S. 714 **FIRE-RESISTANCE RATING OF STRUCTURAL MEMBERS:** No rating required per construction type.

S. 718.3.3 **DRAFTSTOPPING IN FLOORS:** Draftstopping shall be installed so that horizontal floor areas do not exceed 1000 SF.

S. 720 **THERMAL AND SOUND INSULATING MATERIALS:** Where concealed or exposed insulation facing and vapor barrier materials of this project, where not directly covered by a finish material, must meet the following:

- Max Flame spread index of 25
- Max Smoke-development index of 450



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Chapter 9 – Fire Protection Systems

- S. 903** **GROUP B OCCUPANCIES:** An automatic sprinkler system is not required for group B occupancies according to Chapter 9.
- S. 906.1** **PORTABLE FIRE EXTINGUISHERS:** Portable fire extinguishers shall be provided in Group B occupancies and locations as required by the *International Fire Code*, and Table 906.1.
- S. 907.2.1** **GROUP B:** Group B not separated per Section 707.3.10 shall be considered a single occupancy. The occupant load is less than 500, it is not an ambulatory care facility and there is not an occupant load of greater than 100 on the floor above the exit discharge, therefore a manual fire alarm system is not required.

Chapter 10 – Means of Egress

- S. 1003** **GENERAL MEANS OF EGRESS:**
- S. 1004.1.1.1** **INTERVENING SPACES:** Where occupants egress from one room, area, or space through another, the design occupant load will be cumulative of all rooms to that point along the egress path.
- S.1005.6** **EGRESS CONVERGENCE:** Where the means of egress from stories above converge at a lower level, the capacity of the means of egress at the point of convergence shall not be less than the sum of the required capacities of the two adjacent stories.
- S.1006.1** **MEANS OF EGRESS ILLUMINATION:** The means of egress shall be illuminated at all times.
- S.1007.1** **ACCESSIBLE MEANS OF EGRESS:**
- Per **T.1015.1** Two exits or exit access doorways are required from all spaces with an occupant load of greater than or equal to 50 occupants.
- S.1007.3** **ENCLOSED EXIT STAIRWAY**
A stairway between stories shall have a clear width of 48 inches minimum between handrails in order to be considered an accessible means of egress.
- S.1007.5.1** **OPENNESS:** Platform lifts on an accessible means of egress shall not be installed in a fully enclosed hoist way.
- S. 1008.1.1** **DOORS:** All doors exceed a clear open width of 32".



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- S. 1009.5 **HEADROOM:** 80 Inches minimum measured vertically from nosings.
- S. 1009.7.2 **STAIRWAY TREADS/RISERS:**
 - Max riser = 7" Min riser = 4" Min. Tread = 11"
- S. 1011.1 **EXIT SIGNS:** Exits and Exit access doors shall be marked by an approved exit sign readily visible from any direction of egress travel.
- S. 1012.2 **HANDRAILS:** Handrail height shall be uniform, not less than 34 inches and not more than 38 inches.
- T.1016.2 **TRAVEL DISTANCE:** Exits shall be located so that travel distance to an exit door shall not be greater than 200 feet.

Chapter 29 – Plumbing Systems

- T. 2902.1 **MINIMUM NUMBER OF PLUMBING FIXTURES:** Calculations below were based on 120 total occupants.

Occupancy	Water Closets		Lavatories	Others
	Male	Female		
Business	1 Per 25	1 Per 25	1 Per 2 water closets	1 service sink
Total fixtures required B	3	3	2	1

End of Code Review

COST ESTIMATE / WORK SHEETS **4**



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PROJECT NUMBER

Divisions 2 to 33 - Construction Costs Worksheet

Items	Quantity	Units	Cost per Unit(\$)	Total Cost (\$)
			Estimated	Estimated
Division 1 - General Requirements				
See Division 1 Worksheet				
Division 2 - Existing Conditions				
		LS	\$ 5,500.00	\$ -
		Per Floor	\$ 1,200.00	\$ -
Remove Existing Base Casework	57	LF	\$ 7.50	\$ 427.50
Remove Existing Upper Casework	15	LF	\$ 7.50	\$ 112.50
Remove Existing Countertops	214	LF	\$ 5.00	\$ 1,070.00
Remove metal lockers-Return to owner	20	Each	\$ 23.00	\$ 460.00
Demo Existing Wood Stud Wall Construction Partial	200	SF	\$ 1.71	\$ 342.00
Demo Existing Wood Wall Construction full height	3037	SF	\$ 1.77	\$ 5,375.49
Demo Existing Finished Acoustical Ceiling System	2450	SF	\$ 0.40	\$ 980.00
Demo for new lift - wall / floor	1	LS	\$ 450.00	\$ 450.00
Remove Existing Finished Flooring and Base	3928	SF	\$ 0.62	\$ 2,435.36
Remove existing overhead garage door/operator	1	Each	\$ 188.00	\$ 188.00
Remove Existing Single HM Frame Door, Hardware, Trim and Acces.	11	Each	\$ 74.00	\$ 814.00
Remove Existing Double HM Frame Door, Hardware, Trim and Acces.	4	Each	\$ 102.00	\$ 408.00
Sawcut for plumbing	142	LF	\$ 25.00	\$ 3,550.00
Sawcut CMU for cooler door	17	LF	\$ 25.00	\$ 425.00
Demo Stairway / Railings	1	Each	\$ 1,500.00	\$ 1,500.00
		SF	\$ 0.31	\$ -
		Each	\$ 65.00	\$ -
		Each	\$ 1,000.00	\$ -
		Each	\$ 14.00	\$ -
Sawcut new window opening in Exterior Wall	68	LF	\$ 35.00	\$ 2,380.00
Transportation & disposal of demo'd materials	1	LS	\$ 18,000.00	\$ 18,000.00
			subtotal	\$ 38,917.85
Division 3 - Concrete				
Concrete for walkins	1	LS	\$ 3,420.00	\$ 3,420.00
			subtotal	\$ 3,420.00
Division 4 - Masonry				
	1	LS		\$ -

Items	Quantity	Units	Cost per Unit(\$)		Total Cost (\$)	
			Estimated	Estimated	Estimated	Estimated
			subtotal	\$		-
Division 5 - Metals						
Metals	1	LS	\$	18,000.00	\$	18,000.00
			subtotal	\$		18,000.00
Division 6 - Wood, Composites, & Plastics						
Misc. Wood Blocking	1	LS	\$	1,200.00	\$	1,200.00
Floor framing - 12" TJI	1560	LF	\$	4.37	\$	6,817.20
Floor Sheathing	2200	SF	\$	1.41	\$	3,102.00
2x4 Interior wall framing-Included with drywall wall		LF	\$	11.31	\$	-
2x6 exterior wall framing	15	LF	\$	14.35	\$	215.25
			subtotal	\$		11,334.45
Division 7 - Thermal & Moisture Protection						
		LS	\$	2,500.00	\$	-
		SF	\$	2.70	\$	-
Batt Insulation, R-21, Walls	250	SF	\$	0.90	\$	225.00
		SF	\$	1.75	\$	-
Air Infiltration Barrier	250	SF	\$	0.25	\$	62.50
		SF	\$	3.60	\$	-
		SQ	\$	190.00	\$	-
		LS	\$	1,500.00	\$	-
Flashings	1	LS	\$	1,500.00	\$	1,500.00
			subtotal	\$		1,787.50
Division 8 - Openings						
SCW Door, Half Glass, 3'0" x 7'0"	30	Each	\$	807.00	\$	24,210.00
Insulated Hollow Metal Exterior door/frame	1	Each	\$	1,056.00	\$	1,056.00
		Each	\$	886.00	\$	-
		Each	\$	976.50	\$	-
		Each	\$	969.50	\$	-
		Each	\$	980.50	\$	-
		Each	\$	574.00	\$	-
Wood Window 4' x 4' opening, Sound Insulated Glass	5	Each	\$	398.50	\$	1,992.50
Vinyl Window 2' x 5' opening, Insulating Low E Glass	9	Each	\$	485.00	\$	4,365.00
Door Hardware / Keypad entry	1	Each	\$	734.00	\$	734.00
Standard Door Hardware	30	Each	\$	275.00	\$	8,250.00
			subtotal	\$		40,607.50
Division 9 - Finishes						
5/8", Interior, GWB, Standard, tape and finish 2 sides, Wood Studs 16" o.c. 3-5/8" wide	28000	SF	\$	3.72	\$	104,160.00
Sealed Concrete - Kitchen	2160	SF	\$	1.25	\$	2,700.00
Commercial carpet squares	4150	SF	\$	3.00	\$	12,450.00
Acoustic Ceiling panel and grid, 2' x 2' Tegular	5145	SF	\$	3.90	\$	20,065.50
GWB Ceiling, Taped and finished (level 4 finish)	2308	SF	\$	3.24	\$	7,477.92
Sheet Vinyl Flooring, .125" thick	400	SF	\$	4.54	\$	1,816.00
Resilient Base	700	LF	\$	2.41	\$	1,687.00
Paint - Walls / Ceilings Primer / 2 finish coats	25000	SF	\$	1.23	\$	30,750.00
Paint - Door Frames - 2 finish coats	31	EA	\$	75.00	\$	2,325.00

Items	Quantity	Units	Cost per Unit(\$)		Total Cost (\$)	
			Estimated	Estimated	Estimated	Estimated
			subtotal	\$	183,431.42	
Division 10 - Specialties						
		LF	\$	18.30	\$	-
		LF	\$	22.32	\$	-
		EA	\$	45.00	\$	-
		EA	\$	58.00	\$	-
		EA	\$	65.00	\$	-
		EA	\$	135.00	\$	-
		EA	\$	225.00	\$	-
SS Shelf, 5" x 24"- Janitor Closet	2	EA	\$	100.00	\$	200.00
		EA	\$	45.00	\$	-
		EA	\$	115.00	\$	-
		EA	\$	335.00	\$	-
Fire Extinguisher & Cabinet, Semi-recessed	3	EA	\$	265.00	\$	795.00
Relocate Existing Lockers	20	EA	\$	50.00	\$	1,000.00
			subtotal	\$	1,995.00	
Division 11 - Equipment						
New walk in cooler and freezer	1		\$	25,000.00	\$	25,000.00
			subtotal	\$	25,000.00	
Division 12 - Furnishings						
		EA	\$	-	\$	-
		EA	\$	-	\$	-
			subtotal	\$	-	
Division 13 - Special Construction						
Built In Reception	1	LS	\$	5,500.00	\$	5,500.00
			subtotal	\$	5,500.00	
Division 14 - Conveying Systems						
Lift Relocate	1	LS	\$	4,500.00	\$	4,500.00
			subtotal	\$	4,500.00	
Division 22 - Plumbing						
Plumbing Costs	1	LS	\$	25,000.00	\$	25,000.00
			subtotal	\$	25,000.00	
Division 23 - HVAC						
HVAC System Costs	1	LS	\$	199,000.00	\$	199,000.00
			subtotal	\$	199,000.00	
Division 26 - Electrical						
Electrical Costs	1	LS	\$	72,595.00	\$	72,595.00
			subtotal	\$	72,595.00	
Division 27 - Communications						
Communications System Costs	1	LS	\$	7,000.00	\$	7,000.00

Items	Quantity	Units	Cost per Unit(\$)	Total Cost (\$)
			Estimated	Estimated
			subtotal	\$ 7,000.00
Division 28 - Electronic Safety & Security				
Safety & Security System Costs	1	LS	\$ -	\$ -
			subtotal	\$ -
Division 31 - Earthwork				
None	0		\$ -	\$ -
			subtotal	\$ -
Division 32 - Exterior Improvements				
None	0		\$ -	\$ -
			subtotal	\$ -
Division 33 - Utilities				
None	0		\$ -	\$ -
			subtotal	\$ -
Subtotal Construction Costs				\$ 638,088.72

Division 1 - General Requirements

Items	Percentage	Cost per Unit(\$)		Total Cost (\$)	
		Estimated	Estimated	Estimated	Estimated
Division 1 - General Requirements					
	Construction Costs from Worksheet 2			\$	638,088.72
Insurance, Bonds, & Permits	2%			\$	12,761.77
GC Overhead & Profit	7%			\$	45,559.53
General Conditions	3%			\$	19,142.66
xx					
xx					
xx					
Subtotal				\$	77,463.97

Estimate of Probable Construction Costs - Summary

Items	Percentage of Total	Total Cost (\$)
		Estimated
Division 1 - General Requirements		
From Division 1 Worksheet	8.97%	\$ 77,463.97
Division 2 - Existing Conditions		
	4.50%	\$ 38,917.85
Division 3 - Concrete		
	0.40%	\$ 3,420.00
Division 4 - Masonry		
	0.00%	\$ -
Division 5 - Metals		
	2.08%	\$ 18,000.00
Division 6 - Wood, Composites, & Plastics		
	1.31%	\$ 11,334.45
Division 7 - Thermal & Moisture Protection		
	0.21%	\$ 1,787.50
Division 8 - Openings		
	4.70%	\$ 40,607.50
Division 9 - Finishes		
	21.23%	\$ 183,431.42
Division 10 - Specialties		
	0.23%	\$ 1,995.00
Division 11 - Equipment		
	2.89%	\$ 25,000.00
Division 12 - Furnishings		
	0.00%	\$ -
Division 13 - Special Construction		
	0.64%	\$ 5,500.00
Division 14 - Conveying Systems		
	0.52%	\$ 4,500.00
Division 22 - Plumbing		
	2.89%	\$ 25,000.00
Division 23 - HVAC		
	23.03%	\$ 199,000.00
Division 26 - Electrical		
	8.40%	\$ 72,595.00
Division 27 - Communications		
	0.81%	\$ 7,000.00
Division 28 - Electronic Safety & Security		
	0.00%	\$ -
Division 31 - Earthwork		
	0.00%	\$ -
Division 32 - Exterior Improvements		
	0.00%	\$ -
Division 33 - Utilities		
	0.00%	\$ -
Subtotal Construction Costs & General Requirements		\$ 715,552.69
Estimate Contingency	5%	
Construction Contingency	4.14%	\$ 35,777.63

Items		Percentage of Total	Total Cost (\$)
			Estimated
15%		13.04%	\$ 112,699.55
Total		100.00%	\$ 864,029.87



everson-cordeiro engineering design, inc.
mechanical-electrical engineers

#12 SIXTH STREET SOUTH • GREAT FALLS, MT-59401 (406)761-4057

y: Date: 12-5 Project: AGING SERVICES Job No. _____ Sheet 1 of 1

TEM NO.	DESCRIPTION OF WORK OR MATERIAL	QTY	UNIT	MATERIAL		LABOR		MATERIAL & LABOR TOTAL
				UNIT	TOTAL	UNIT	TOTAL	
	HVAC :							
	AC-1, AC-2, AC-3, AC-4							
	AC-6, AC-7, AC-8	7				20,000		140,000
	AC-5, AC-9	2				18,000		36,000
	COOL DUMPS	2						3,000
	DEMOLITION	LS						4,000
								<u>155,000</u>
								TOTAL W/P&O 25% 193,000
	KIT HVAC:							
	HOODS, FANS, MAN							
	EVAP COILING CONTROLS	LS						44,000
	DUCTWORK PIPING							55,000
								<u>44,000</u>
								TOTAL W/P&O 25% 55,000
	PLUMBING:							
	EXIST W/ RECONTE							
	VENT, Misc PIPING	1						18,000
	PREP SINK EXIST	1						12,000
	POTSINK EXIST	1						12,000
	WASTE & VENT	LS						2,000
	BAD SEWER	LS						2,000
	GAS PIPING	LS						3,000
	DEM WTE	LS						3,000
								<u>142,000</u>
								TOTAL W/P&O 25% 177,000
								BUDG TOTAL \$240,000 \$265,000

Nelson Architects
Great Falls, MT

RE: Aging Services Building Renovation

Dale:

Per your request, I did two preliminary estimates for the project. One in which all the new fixtures will be LED and all the existing fixtures would be replaced with LED fixtures (Option I). The other is based on relocating existing fixtures where applicable and providing new fluorescent fixtures where the existing fixtures could not be re-used. (Option II).

Because the batteries in the existing exit lights and emergency egress lights are approaching the end of their life expectancy, both estimates include all new fixtures.

I did not include replacing any of the existing exterior building mounted or pole mounted fixtures.

It is my intent to revise all existing devices where applicable. I did a preliminary device lay-out to get a count for the estimate.

The estimates are based on using existing conduits and home runs back to the existing panels.

I did a preliminary load calculation to determine if the existing building service is adequate to handle the additional building load. If all the cooking appliances are gas the service appears to be adequate. If not we will have to increase the service to 600 amps. If we need to change the service we will need to add \$7,000 to the estimate.

If you have any questions, please don't hesitate to give me a call.

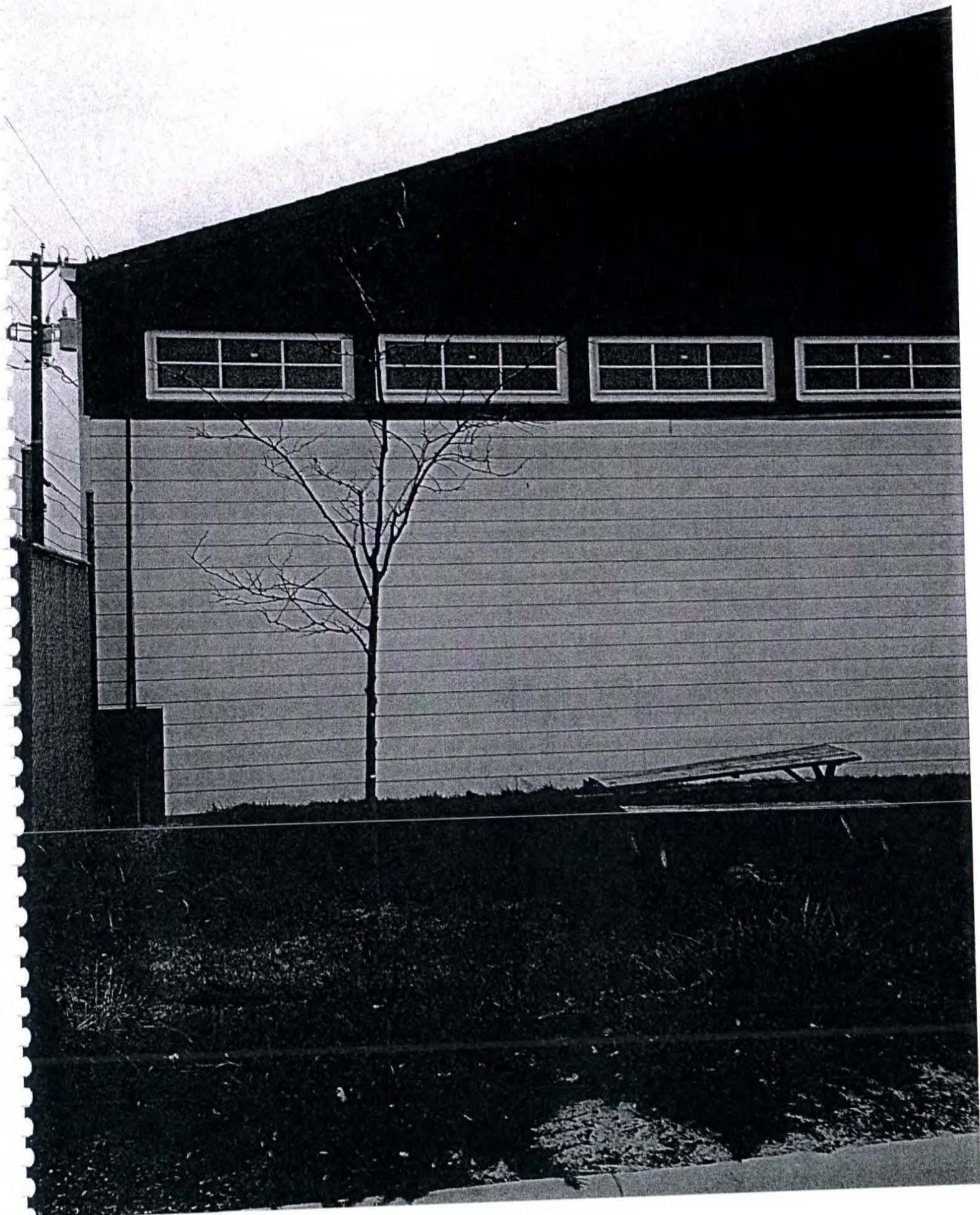
Chris

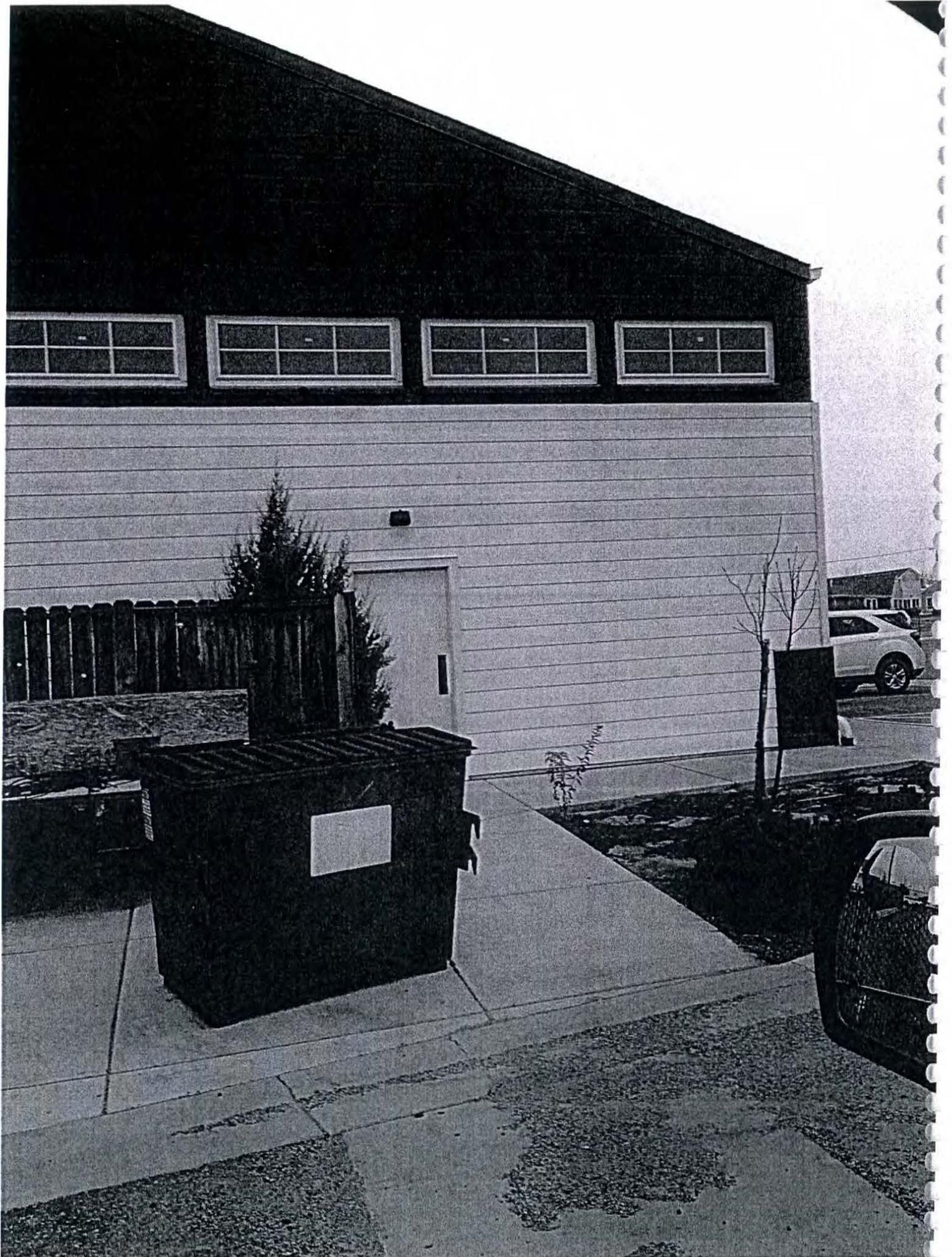
Electrical Estimate

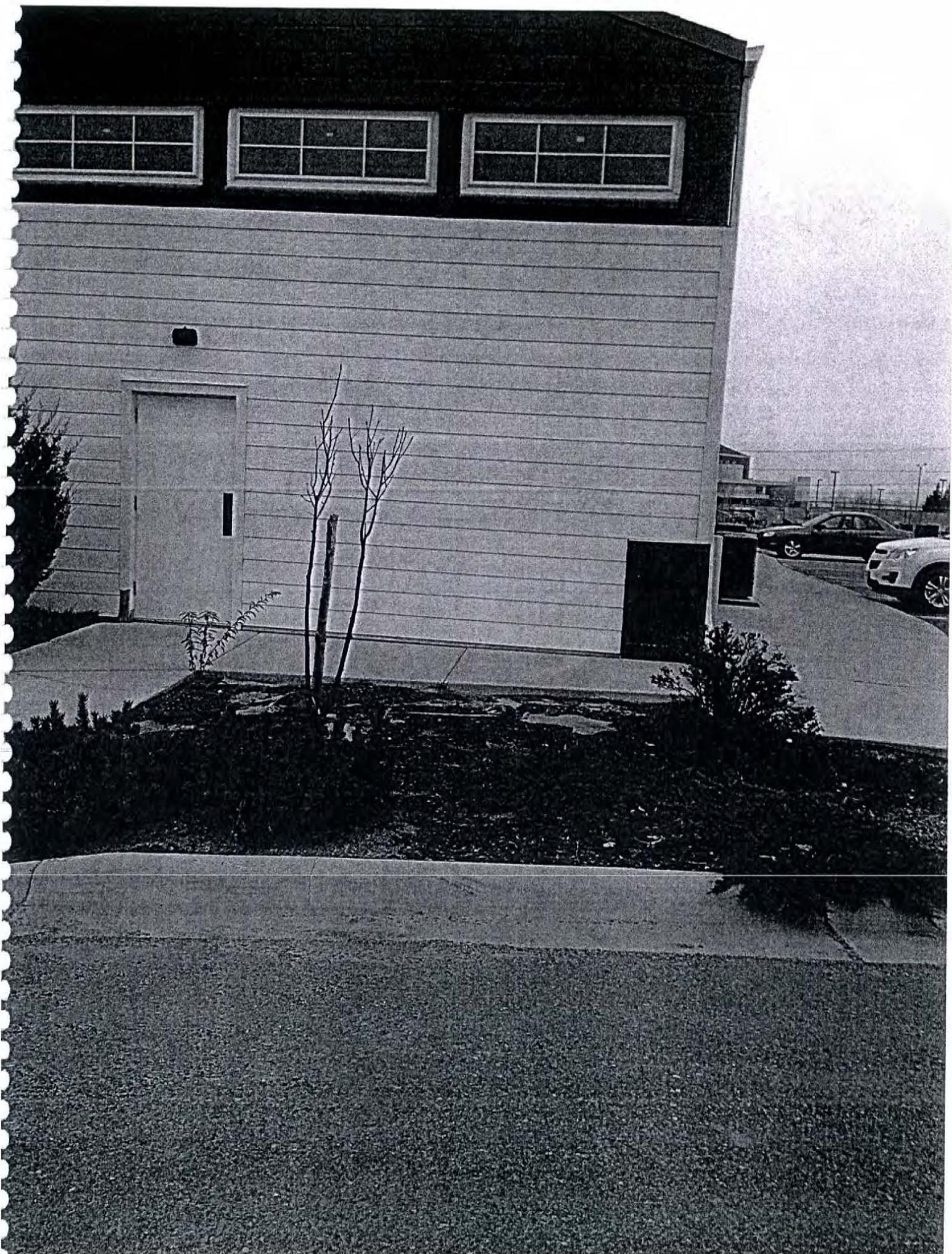
	<u>Lighting</u>	<u>General Wiring</u>	<u>Total</u>
Option I	\$38,970	\$33,625	\$72,595
Option II	\$20,400	\$33,625	\$54,025

5
DOCUMENTATION
PHOTOS

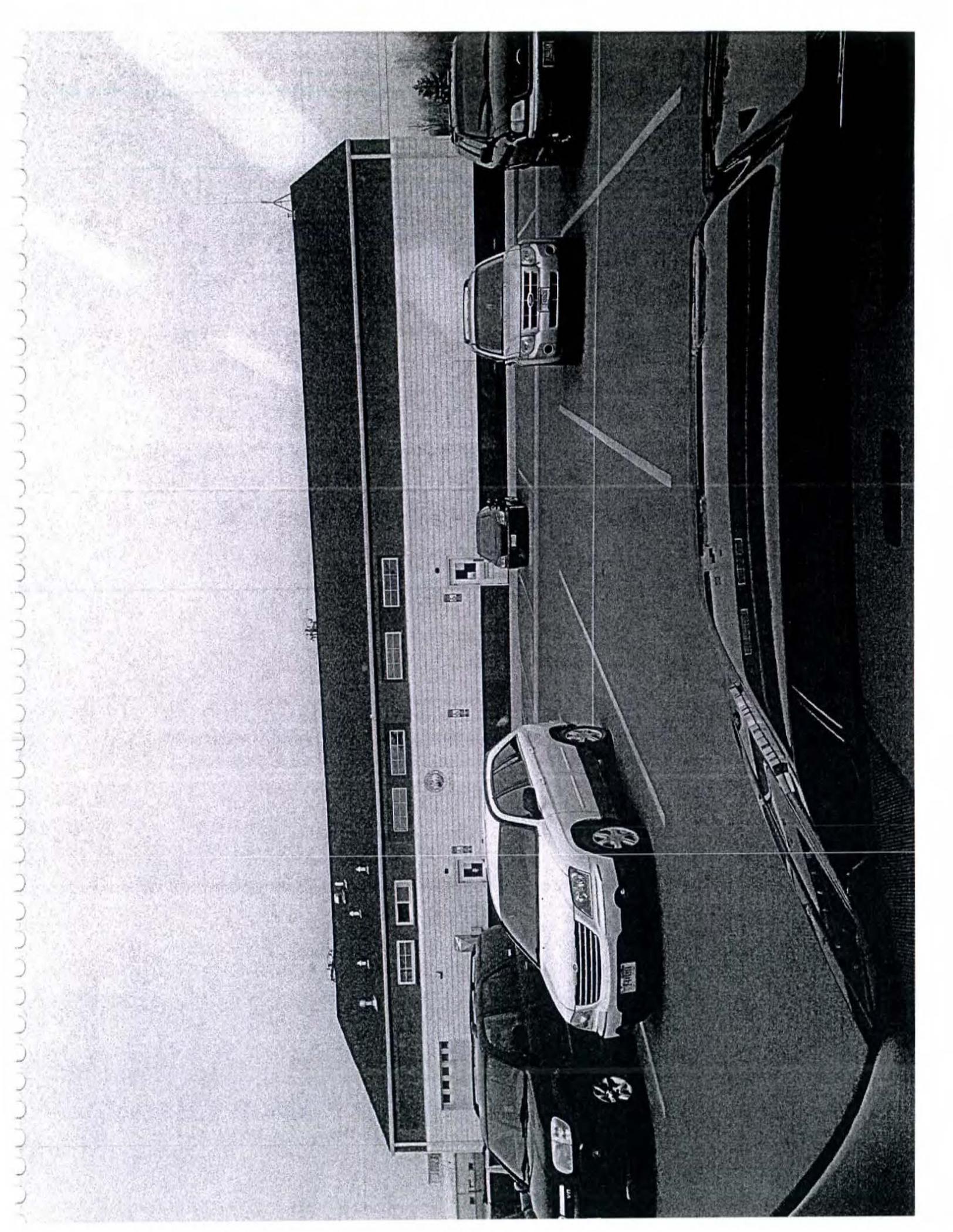
Nelson architecture









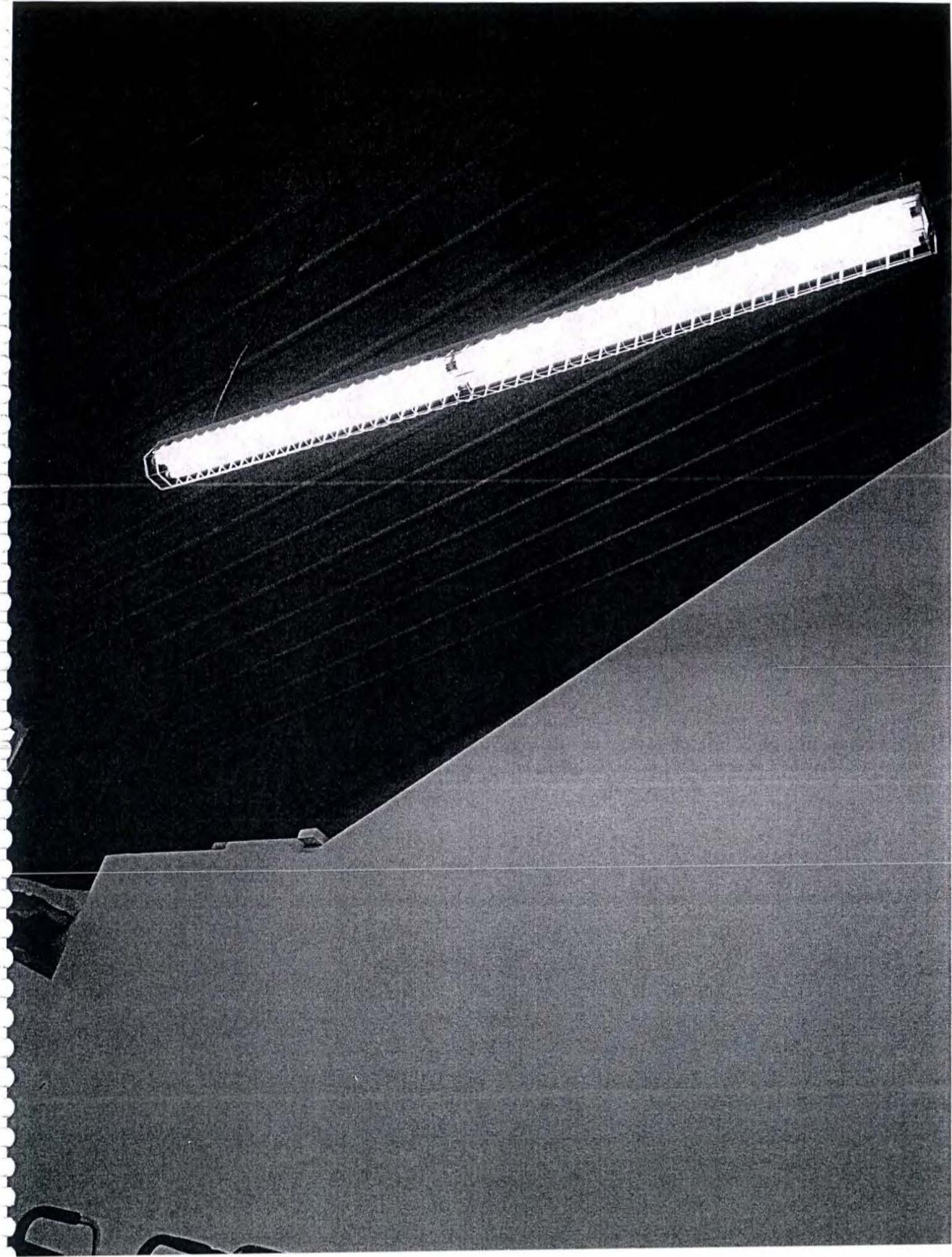


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